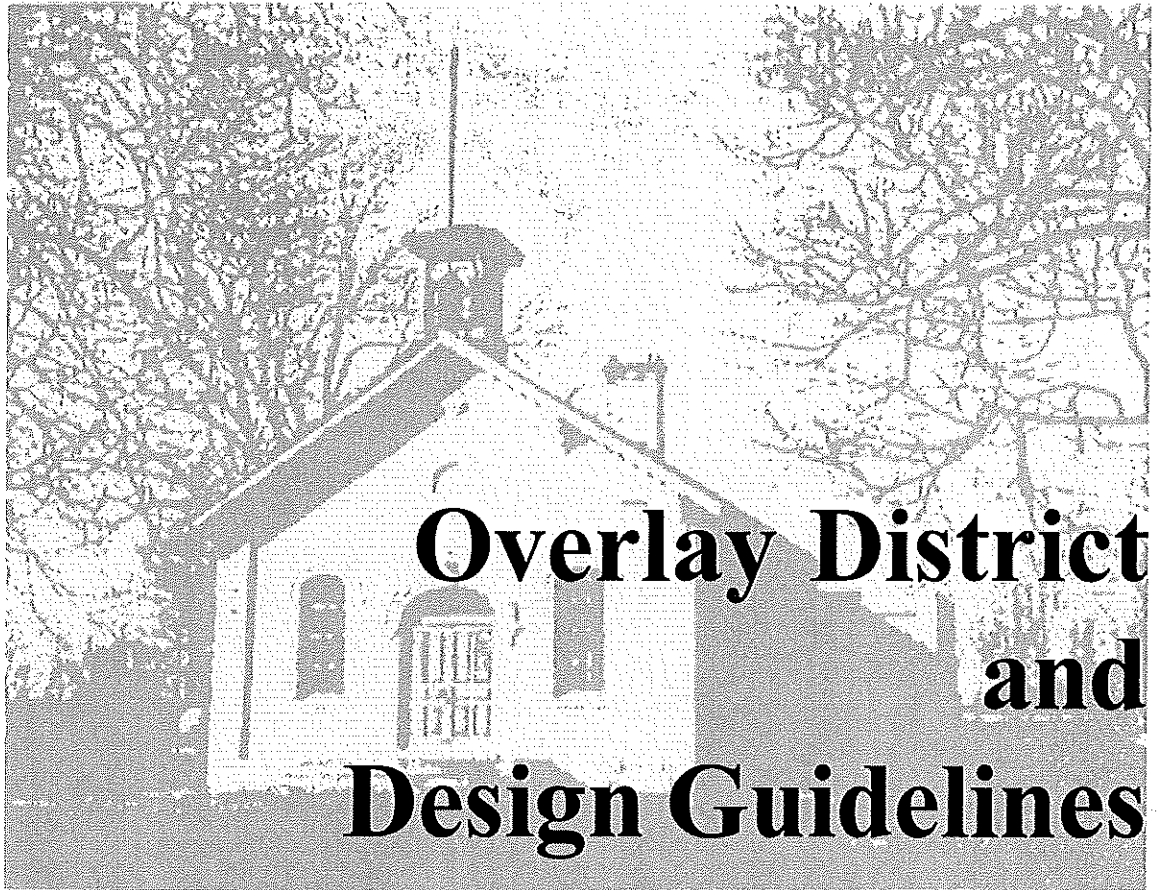


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# Cherry Hill Village



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# Cherry Hill Village

## Overlay District

Adopted: September 12, 2000  
Effective: September 21, 2000



## **6.09 – SITE DEVELOPMENT STANDARDS FOR THE CHERRY HILL OVERLAY DISTRICT (Supp. 00-2, Effective 9-21-2000)**

Implementation of the Cherry Hill Area Development Plan will take place through the use of Cherry Hill Area Overlay District Regulations. All uses located within the Cherry Hill Area Overlay District, unless otherwise noted, shall be subject to the specific standards of the overlay zone.

### **A. PURPOSE AND INTENT**

The purpose of the Cherry Hill Area District shall be to promote the development of the area in accordance with the Cherry Hill Area Development Plan, which is part of the Canton Township Comprehensive Plan, and in such a manner that will: maintain, preserve and enhance historic resources; allow for a mixed use concept of new development that advances the creation of a “hamlet” focusing on the historic resources; arrive at a residential pattern which addresses both style and architecture appropriate for the area; and, develop a vehicular and pedestrian circulation pattern appropriate for a “hamlet” style development while recognizing current community and lifestyle issues.

In an effort to create a unique and identifiable community in the Cherry Hill Area, it is further required that these objectives will be implemented through the use of the Planned Development regulations, unless otherwise noted herein, and the Cherry Hill Area Design Guidelines which are adopted as part of this Ordinance.

### **B. APPLICABLE AREA AND REQUIREMENTS**

1. The Cherry Hill Area District encompasses the area as illustrated in Figure 6.09B.1.
2. All projects, with the exceptions noted herein, shall be treated as a Planned Development in accordance with the standards and procedures set forth in Section 27.04, subject further to the Cherry Hill Area Design Guidelines goals and objectives of the Cherry Hill Area Development Plan which is part of the Canton Township Comprehensive Plan; the Cherry Hill Village Design Guidelines, which are attached to and made part of this Ordinance; and the standards contained herein. The minimum size of a Planned Development of ten (10) acres shall not be applicable for projects within the Cherry Hill Area Overlay District.
3. The following uses shall not be required to be treated as a Planned Development but shall be subject to site plan review and the Cherry Hill Village Design Guidelines.
  - a. Individual properties which are designated as historically significant or contributing as identified in the Cherry Hill Historic District Ordinance No. 117-3, and are proposed for rehabilitation and restoration shall not be subject to the requirements of a Planned Development but shall be subject to site plan review in accordance with the Design Guidelines. Said properties shall be subject to the Charter Township of Canton Historic District Ordinance No. 117A and the Cherry Hill Historic District Ordinance No. 117-3.
  - b. The construction and/or rehabilitation of individual buildings not part of an overall development project otherwise subject to the requirements of Section 6.09B.2

C. PRINCIPAL PERMITTED USES AND STRUCTURES

1. Single family residences existing at the time of adoption of this Ordinance shall be considered Principal Permitted uses and structures as of right and lots shall be a minimum of 120 feet in width and 30,000 square feet in area, subject to the setback and height requirements of the R-2 Single Family Residential District.
2. Single family detached dwelling.
3. Single family attached dwelling, including two-family dwellings and townhouses.
4. Publicly and privately-owned parks, parkway, and recreation facilities.
5. Family day care homes.
6. Housing for the elderly.
7. Religious institutions.
8. Public, parochial, and other private elementary, intermediate, or high schools.
9. Public or private colleges and universities.
10. Child and adult day care facilities.
11. Municipal buildings.
12. Private kennels, subject to the provisions in Section 6.02, sub-section K.
13. Private stables, subject to the provisions in Section 6.02, sub-section X.
14. Public and private golf courses.
15. Bed and breakfast establishments.
16. Essential services.
17. Specialty retail businesses, including, but not limited to: apparel, jewelry, bakery, books, stationery and office supplies, periodicals, gifts and home decorating, convenience grocery or general store, delicatessen, ice cream parlor, drug store, flowers, toys, hobby and crafts, music, and video cassette rental.
18. Personal service establishments, including but not limited to: barber shop, beauty salon, clothing alteration, shoe repair, dry cleaning outlet, photo processing, suntan salon, photographic studio.
19. Professional offices.

20. Medical/dental clinics or offices.
21. Financial institutions.
22. Standard and carry-out restaurants, with liquor sales on premises accessory to standard restaurant only.
23. Personal fitness centers, martial arts studios, dance, music and voice schools.
24. Art gallery and studios.
25. Post Office.
26. Apartments located on the second floor of non-residential buildings.
27. Banquet and meeting halls.
28. Performing and cultural arts facilities, museums, and similar uses.
29. Cider mill, farmer's market, and similar uses.
30. Uses and structures accessory to the above, subject to the provisions in Section 2.03.

The above uses shall be reviewed in accordance with the standards set forth in Section 27.04C and can be subject to the regulations and procedures as set forth herein in Section 6.09B and the Zoning Ordinance of the Charter Township of Canton.

#### D. GENERAL DESIGN PRINCIPALS

1. Density shall be determined in accordance with the requirements set forth in Section 27.04D.5. Such requirements are to be applied keeping in mind the objectives of the Cherry Hill Area Development Plan that overall density shall not exceed four (4) units per acre and any single phase of sub-area within an individual project shall not exceed six (6) dwelling units per acre.
2. Proposed development shall promote the creation of new neighborhoods that exhibit the characteristics and design features of traditional neighborhoods and are compatible with the scale and architecture of existing buildings in the Cherry Hill Area. New developments shall reflect diversity in regard to the mixture of housing types; a mixture of housing styles; and a mixture of lot sizes and shapes.
3. A strong, central focus shall be provided at Cherry Hill and Ridge Road which functions as the Village Core, contributing to establishing community identity and provides an essential area for social interaction. The general concept and land use arrangement for the Village Core is set forth in the Cherry Hill Village Design Guidelines.

4. Overall street design and layout shall be an integral component of site design. The street layout shall be a modified grid street pattern adapted to the topography, unique natural features and environmental constraints of the tract, as well as peripheral open space areas. The street layout shall take into consideration the location of the Village Core, open space areas, and significant vistas. A minimum of two (2) interconnections with the existing public street system shall be provided where possible. Street widths and alignments shall be scaled to neighborhood size and be patterned after the character of existing residential streets.
5. Buildings with two or more facades visibly exposed to a street or common open space shall be specially designed to respond to these more prominent locations. Such buildings shall have special massing and/or other treatments on all exposed facades. All exposed facades shall be treated with the same architectural quality and detail. Buildings that are located at the termination of a view, vista, or axis shall be considered more significant structures requiring special architectural responses.
6. Emphasis shall be placed on providing a pedestrian circulation system which promotes safety and social interaction and connects neighborhoods with open space, recreational and community facilities and commercial areas. Linkages to adjacent developments and neighborhoods with pedestrian and bicycle paths are recommended where possible.
7. All open space shall serve a functional purpose as visual enhancement and/or providing for both passive and active recreational needs of the area. Open space shall be an integral component of the overall site design and concept and not be considered an afterthought of site planning.
8. Utilities shall be installed underground in accordance with the standards set forth in Section 2.25.
9. The removal or disruption of historic, traditional or significant uses, structures, or architectural elements shall be minimized insofar as practicable.

#### E. DESIGN GUIDELINES

The Cherry Hill Village Design Guidelines which include site and architectural design standards, are hereby incorporated and made part of the overlay district by reference.

# Cherry Hill Village Overlay



Part of Sections: 17, 18, 19 & 20



**CANTON**  
*Community*

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# Cherry Hill Village

## Design Guidelines





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# **Section 1**

## **Introduction**

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## 1.1 Background and Historical Development of Area

Cherry Hill was first settled in 1825 as a local farming center and a stop for travelers to the West. As the community grew after 1834 through the end of the 19th century, settlement patterns created the need for a church, a cemetery, and a school, complemented and surrounded by a number of residential buildings. Technological development in agriculture impacted the community in the early 20th century, making Cherry Hill one of the most important sweet corn providers for Detroit area markets.

Similar to other communities in the area, Cherry Hill was part of Henry Ford's "Village Industries" program, until it ceased in 1945. Since W.W.II there have been no notable changes. All of the significant buildings and landscape features present in the original community were in place and as yet remain largely unchanged.

Today, however, the community is facing intense development pressure, which is encroaching on the Cherry Hill community from the surrounding area. This pressure has been recognized since the 1980s, and in the last ten years the township has made efforts to envision future development and to focus on incorporating growth while *preserving the character, scale, and quality of the community aesthetic*.

The current settlement characteristics of the area includes:

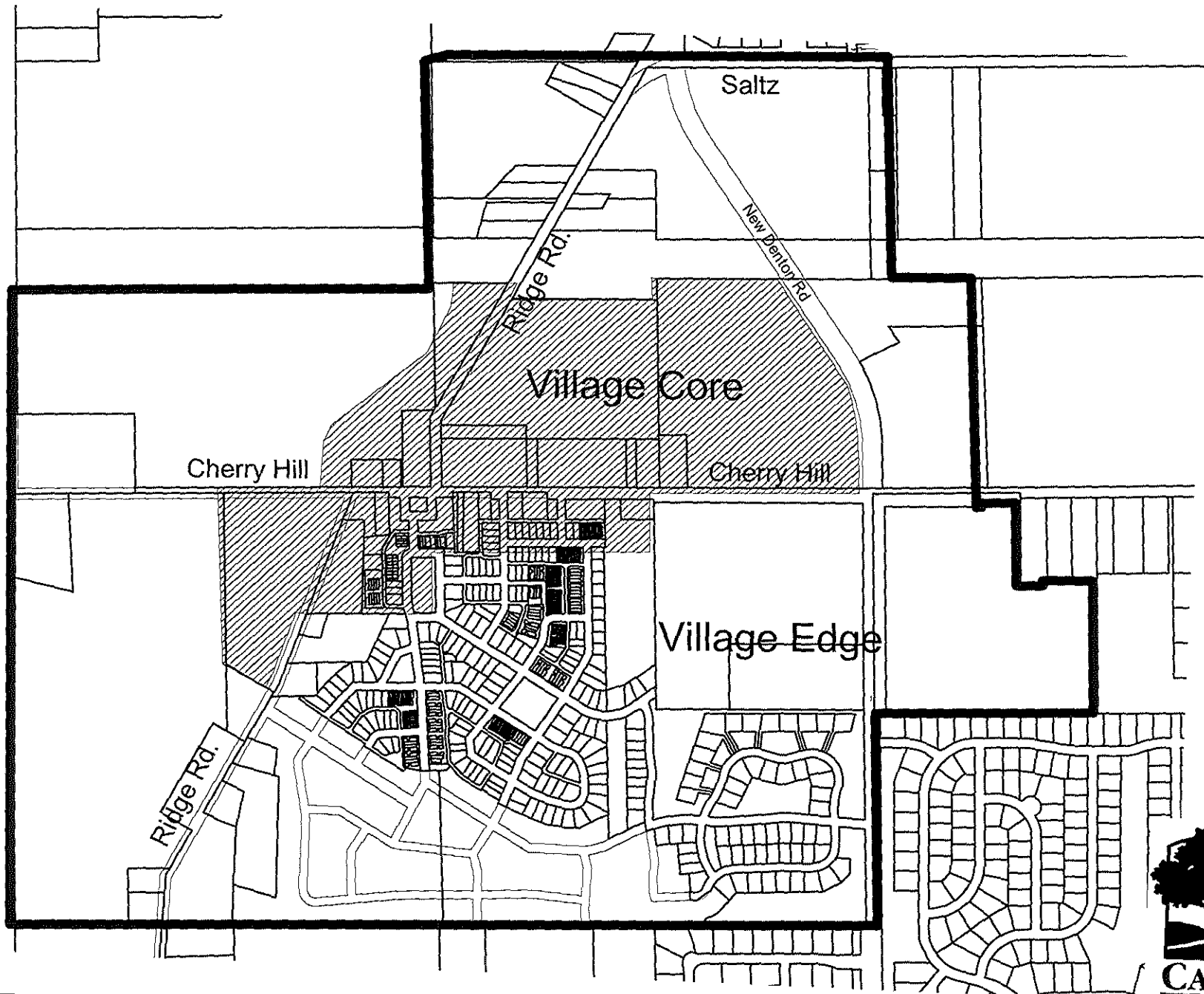
- Concentration of individual buildings at the intersection of Cherry Hill and Ridge Roads, surrounded by agricultural fields and farmsteads.
- A mix of residential, institutional and light industrial mixed use.
- Diversity in age and architectural style of existing buildings, variation in size of plots and building sites.
- Detached garages and other outbuildings.

## 1.2 Purpose of Guidelines

The Cherry Hill Village Design Guidelines have been adopted by the Township to regulate development within the Cherry Hill Overlay District. Overlay District boundaries are provided as Figure 1. The overall goal of the design guidelines is to create a unique sense of place and community, emphasizing human scale and pedestrian activity. The guidelines respond to a desired development pattern which represents a significant departure from current development patterns elsewhere in the Township.

Figure 1.

# Cherry Hill Village Area



Cherry Hill is currently and historically a rural cross-roads community. These design guidelines are intended *to encourage change sensitive to the existing buildings, and to the rural nature of its historic land use, and to preserve and enhance this character as it responds to new development.* The guidelines apply to all buildings and outbuildings permitted by overlay district zoning regulations in the study area.

This document presents architectural and site design guidelines for:

- adaptive use of existing buildings,
- modifications and additions to existing buildings,
- new construction.

### **1.3 Study Area Elements**

The Cherry Hill Area Development Plan component of the Township Comprehensive Plan recognized the unique opportunity for Canton Township to weave a pattern of new development which maintains and respects the heritage of the area. To that end, two distinct elements, the Village Core and Village Edge, were recognized which require different design treatment. The guidelines describe these areas and include recommendations relevant to their specific characteristics. A third element, open space in Cherry Hill Village, is a community-wide system of connected greenways, recreation areas, and open space, and is incorporated in the site design component of the Design Guidelines.

#### **The Village Core**

The cornerstone of a successful and viable Cherry Hill community is a strong Village Core. The design guidelines for the core area are based on a combination of policies set forth in Canton Township Comprehensive Plan. One such policy, as also stated in the *Secretary of Interior's Standards for Rehabilitation*, is to retain as much of the historic fabric as possible and encourage appropriate restoration and re-use of historically significant and contributing structures (Policies 3.1.4). When repairing and preserving historic resources is not possible, the standards address other alternatives. By contrast, another policy seeks to encourage development within and surrounding Cherry Hill to enhance the existing character of the village (Policy 3.1.3). This may be achieved with the use of similar visual elements to strengthen the sense of continuity and scale among buildings, to improve their economic viability, and to establish a unique identity for the core.

The two policies are compatible with one another, and may be achieved in the same design solution. However, in some cases, new design elements may significantly alter the historical integrity of a structure. As a general rule, any design which alters historic elements is discouraged. However, there are cases where the benefit of new design elements outweighs the loss of historic elements.

As mentioned in Canton Township Ordinance No.117, within a portion of the Cherry Hill Village core area, there are historically **significant** structures and sites, **contributing** structures, and **non-contributing** structures. **Significant** structures and sites, as identified by the 1989 Cherry Hill Preservation Plan, include the inn, the church, the cemetery, the school, and the Robert and Benjamin Huston houses. The guidelines for adaptive use apply to these buildings. All elements of a facade that contribute to its character should be preserved.

Several other structures have been recognized as **contributing** to the overall historic character. They are not necessarily examples of specific architectural styles, but help to complete the street scene and establish a general sense of scale and character that is evocative of earlier times. The guidelines for adaptive use apply, but with more flexibility than the previous category. In these cases, design that compromise some historic elements may be appropriate if basic urban design objectives are met.

Most of the **non-contributing** structures were built recently, before there was a conscious effort to promote the character of the Village. The guidelines for new construction, infill, and redevelopment apply to these structures.

The guidelines for the Village core also speak to improvement of existing and proposed roadways, streetscape, parking, pedestrian amenities, and for signs and alley improvements.

It is the intent of the core to intensify pedestrian activity in the Village through a deliberate slowing of vehicular traffic within the core, creation of a Village green, additional street furniture and landscaping, preservation and re-use of existing buildings, infill and/or development of holes in the fabric of buildings with new buildings. Development of additional structures and uses is also encouraged within the core so as to increase commercial activity without detracting from the Village pattern. Commercial/office buildings in the Village will vary from the single family detached rehabilitated houses rehabilitated to the new construction of two story commercial-retail on the first floor, second floor apartments. Single-family detached housing is also encouraged within the core on small lots with zero lot lines. Front and rear entrances to buildings and pedestrian passages to parking areas adjoining a back alley are recommended, as is the development of pocket parks where it is either not feasible or not desirable to construct new buildings.

## **The Village Edge**

Emanating outward from the Village Core are the non-historic areas. The Village Edge will include a variety of housing opportunities. The guidelines encourage a focus on street level interest and attention to massing, proportion, and scale. It is the intent of the Township to encourage a variety of house types from the single-family detached residence to townhouse units on a variety of lot sizes. Closer to the Village Core, a more compact mix of housing is anticipated. Within the outer areas of the Village Edge, larger homes on larger lots are planned.

An integral component of the Cherry Hill community is a network of open space. The open space system is intended to provide for active and passive recreation, natural area preservation and linkage between elements within the community.



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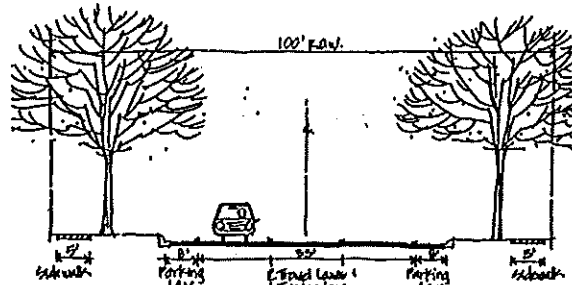
# **Section 2 Site Design Guidelines**

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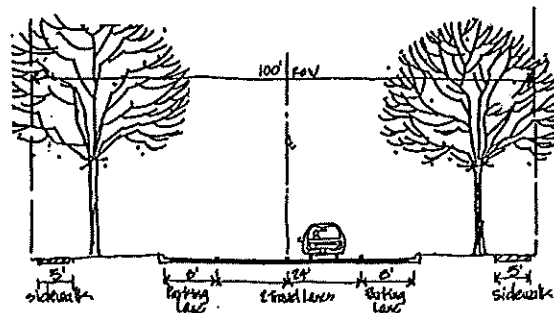
## 2.1 Streetscape

### 2.1.1 Existing Arterial Road Improvements

- Improve existing Cherry Hill and Ridge Roads to facilitate circulation and access with a curb and gutter roadway system. Outside of the Core Area improved roads shall be 27 feet wide.
- Improve Cherry Hill, between south and north Ridge Road as well as Ridge Road at both intersections with a road cross-section that includes 2 travel lanes, 1 turning lane, and 2 parking lanes. The improved road with turn and parking lanes shall be 49 feet wide, within a 100 foot right-of-way. Sidewalks shall line both sides of the roadway as illustrated.
- Along the remaining portions of Cherry Hill and Ridge Roads, where turn lanes are not needed, parking lanes shall be located on either side of the roadway as illustrated. Improved two lane roads shall be 40 feet wide within an 100 foot right-of-way.
- Where existing structures present a constraint, modifications to the improvements within the right-of-way may have to be considered.



2 travel lanes, 1 turning lane, & 2 parking lanes

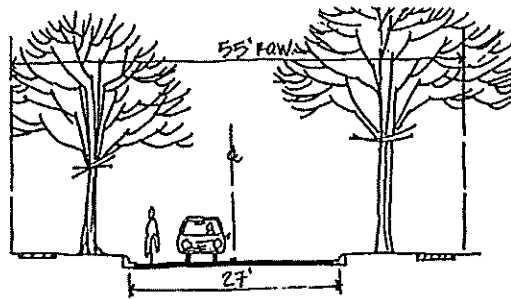


2 travel lanes + 2 parking lanes

CHERRY HILL & RIDGE ROADS

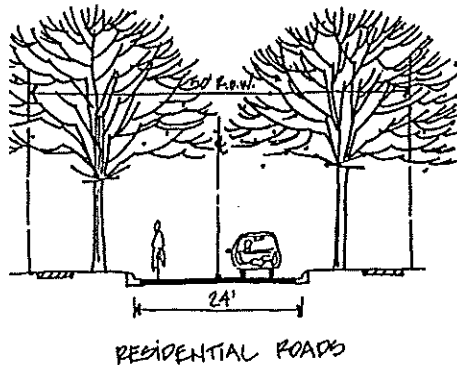
### 2.1.2 New Road Construction

- Create a hierarchy of roads from the local residential to the residential collector roads as illustrated. Local residential roads shall be 24 feet wide within a 50 foot right-of-way, and residential collector roads shall be 27 feet wide within a 55 foot right of way.
- Secondary roads constructed in the Village Core shall include a two lane cross section with parking lanes.



### 2.1.3 Sidewalks

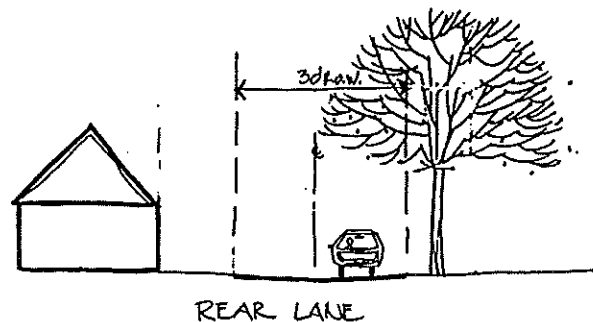
- Provide a continuous system of sidewalks connecting residential units to the retail area, civic and social buildings, and major recreational facilities, as well as to the Village Edge Area.
- Sidewalks in the Village Core Area shall be constructed at a width determined by the intended function.
- Sidewalks adjacent to buildings in the commercial areas along Cherry Hill Road shall be consistent with the final retail center plan.
- Sidewalks shall continue across the street, defined by clear crosswalk markings in the street.
- Handicap access must be provided at all crosswalks.
- Create a visually interesting sidewalk by using brick, concrete, or patterned concrete.
- Sidewalks shall be allowed to wander around trees and other fixed objects, without being overly rigid in placement.
- Connections to all building entrances directly from public sidewalks should be provided.



- Restaurants are encouraged to operate outdoor cafés on sidewalks, including areas within the public right-of-way provided pedestrian circulation or access to store entrances are not impaired.
- The construction of exterior courtyards, plazas or pocket parks is encouraged. These exterior public or semi-public spaces shall have recognizable edges, defined on at least three sides by buildings, walls or landscape elements. Their design shall enhance surrounding buildings.

#### 2.1.4 Rear Lanes

- Provide rear lanes to access parking lots at back of Village Core and attached unit garages.
- Rear lanes shall be 20 feet wide, with five foot setbacks on either side.
- Provide lighting at the intersections of the rear lane and the roadways. Decorative lighting shall also be affixed to individual garages.
- Trash receptacles shall be stored inside of the garage.



#### 2.1.5 Landscaping within the Right-of-Way

- Shade trees shall be planted within the right-of-way at intervals of 30' to 38' between the roadway and the sidewalk
- Select trees capable of growing at least 50 feet tall with roots that will least impact sidewalks.

#### 2.1.6 Pedestrian Amenities

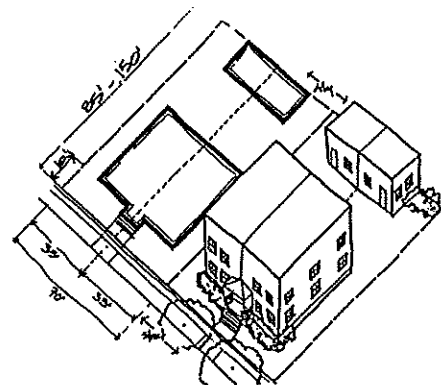
- Provide pedestrian amenities such as benches, planters, and lighting fixtures. Trash receptacles shall be required in all pedestrian sitting areas.
- Pedestrian amenities shall complement the architectural style of the village.

- Light posts shall be ten feet in height. Avoid high level foot candles (fc) of light and the use of typical roadway lighting structures.
- Within the central retail area, light posts shall be spaced 80 feet apart, creating a diagonal pattern with lights across the street.
- Outdoor cafés shall be defined by planters, wrought iron fences, picket fences, or other removable enclosures.
- Exterior café furniture shall compliment the architectural style of the building.

## 2.2 Commercial/office/residential uses within Village Core

### 2.2.1 Building Uses

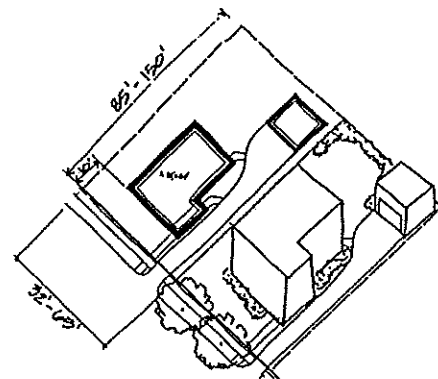
- Adaptive use of existing structures is encouraged, especially uses including café, restaurant, bed and breakfast, video store, florist, art gallery, bookstore, drugstore, specialty grocery, ice cream parlor, hardware, gift shop, craft, antiques, and offices.
- New construction and infill redevelopment to include a mix of building types to accommodate retail, service, office and residential uses, as well as mixed use buildings (second floor apartments over first floor retail/office space).
- Residential uses shall include single-family detached, apartment and townhouse units.



TOWNHOUSE - SINGLE-FAMILY ATTACHED

### 2.2.2 Lot Size and Shape

- In new residential areas, include a mix of lot types, i.e., lot size and shape may vary from 32 to 65 feet wide to 85 to 150 feet long as illustrated.



SINGLE-FAMILY LOT

### 2.2.3 Building Setback, Orientation and Spacing

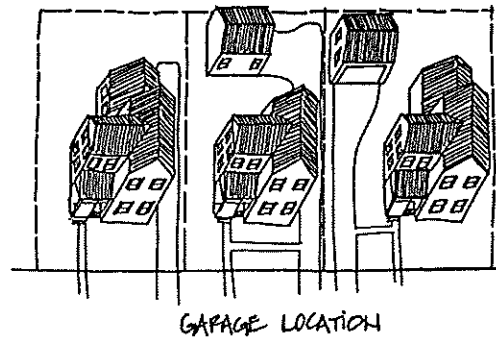
- Lot size and shape for commercial/office properties located off of Cherry Hill Road and Ridge Road shall generally

continue the existing pattern of buildings spaced 75 to 100 feet apart, with some variation and infill.

- Maintain or create a consistent pattern of building spacing and setback in residential blocks. Front setbacks shall vary from 10 to 15 feet, side setbacks from 0 to 10 feet.
- Within the commercial/office core create a continuous frontage of entrances and shop windows. Parking lots shall be located behind buildings. Building setbacks, orientation, and spacing shall be in accordance with the final retail center plan.
- Retail buildings shall be at street level, and open directly onto the sidewalk.
- Office/mixed use buildings shall have a slight 5 foot setback, allowing for a semi-public space or planting area as illustrated.
- Civic buildings shall have the largest setbacks, as illustrated. Low fences or hedges shall separate the semi-public area of residences from the sidewalks. No separation is necessary for civic buildings.
- Residential buildings shall be elevated a minimum of three feet, provided to insure additional privacy.
- The principal façade and front entry of the structure shall face the street.

#### 2.2.4 Garage / Outbuilding & Driveway Placement

- Locate detached or attached garages and other outbuildings at rear of property, fully behind the principal structure. The design of these structures shall be architecturally compatible with the principal structure.



- Driveways shall be located along one side of the property. Recommended paving surfaces include concrete, stamped concrete, and pavers. Curbing is not recommended.

#### **2.2.5 Parking Arrangement and Layout**

- Parallel parking shall be encouraged in front of retail, mixed-use and multi-family buildings. Parked cars provide a buffer between the pedestrian and the road.
- Locate parking lots to the rear of the building, fully behind the principal structure.
- Encourage the use of shared parking in the Village Core Area as shown on the "Alternate Retail Center Plan."
- Large parking lots shall be subdivided into small sections with the use of planting strips and islands.
- Parking lot interior shall be landscaped in accordance with zoning ordinance requirements.
- Parking lots shall be connected to the fronts of the commercial buildings by pedestrian ways.
- Rear entrances to commercial/service buildings shall be encouraged from the parking lots.
- Pedestrian connections to both front and rear entrance shall be provided.
- Pedestrian crosswalks shall be located within the parking lots, distinguished by pavement markings.

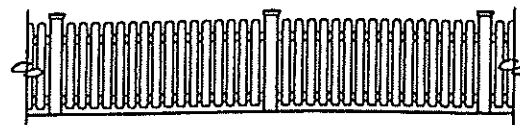
#### **2.2.6 Landscaping and Screening**

- Maintain view corridors. If impossible, buffer hard edge of buildings with landscape plantings.

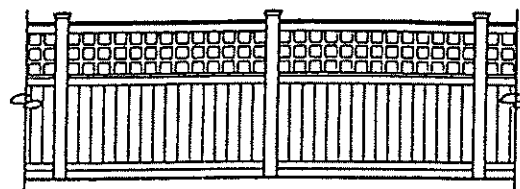
- Provide screening for parking areas, trash storage and other storage areas with appropriate fencing or landscaping.
- Consider using trees native to the area. Indigenous trees would require less maintenance and compliment existing vegetation and natural features. Trees secured from cleared sites could be relocated within the landscaped areas.

### 2.2.7 Fences

- The placement of low fence or hedges shall be encouraged between the sidewalk and residential units, separating public sidewalks from semi-public front lawns.
- The maximum height for fences and hedges shall be 42 inches except when used for required screening.
- Encourage the use of wooden or vinyl picket fences.
- Chain link fences shall not be used.
- Fencing along rear lanes shall be consistent in design and height.



FRONT YARD PICKET FENCE



REAR-YARD PRIVACY FENCE

### 2.2.8 Signs / Mailboxes

- Signs shall be architecturally compatible with a building's facade.
- The size of the sign shall be limited to approximately two percent of the building's ground level facade. Hanging signs shall be a maximum of nine square feet per side.
- Mailboxes should be paired and uniformed and traditional in appearance and shall include newspaper slots.



## **2.3 Residential uses within Village Edge**

### **2.3.1 Building Uses**

- New construction and infill development of residential buildings shall include single-family detached and townhouse units.
- Include both townhouse units (2 to 4 units side by side or stacked designed to look like single-family) and single family detached units. Townhouse units are to be located on lots closest to the village core.

### **2.3.2 Lot Size and Shape**

- In new residential areas, include a mix of lot types, i.e., lots size and shape may vary from 50 to 90 feet wide to 85 to 150 feet long as illustrated, with wider lots primarily located on sites farthest from the Village Core. Lots located near the Village Core can be a minimum of 40 feet wide subject to Planning Commission approval.

### **2.3.3 Building Setback, Orientation, and Spacing**

- Front setbacks shall vary from 10 to 20 feet, side setback from 0 to 10 feet depending on the lot size and placement (interior, corner, end).
- Residential units may be setback from roadways, with low fences or hedges separating the semi-public front yard from the sidewalks.
- Residential buildings shall be elevated a minimum of three (3) feet to insure additional privacy.
- The principal facade and front entry of the structure shall face the street.
- Maintain the existing pattern of the narrow side of the structure facing the street.

- Building additions shall remain subordinate to the visual impact of the original structure.
- Other elements that need to be considered include the orientation of buildings on corner lots and alleys, the relationship of the garage with the alley, and the setback of the front entry garage from the main body of the house.
- Buildings with two or more facades visibly exposed to a street or common open space shall be specially designed to respond to these more prominent locations. Such buildings shall have special massing and /or other treatments on all exposed facades.
- All exposed facade shall be treated with the same architectural quality and detail. Buildings that are located at the termination of a view, vista, or axis shall be considered more significant structures requiring special architectural responses.

#### **2.3.4 Garage / Outbuilding & Driveway Placement**

- Driveways shall be located along one side of the property, be concrete, without curb.
- A combination of front and side entry garages shall be allowed, appropriately oriented, with side entry garages encouraged in lots located farthest from the Village Core.

#### **2.3.5 Landscaping and Screening**

- Maintain view corridors. If impossible, buffer hard edge of buildings with landscape plantings.
- Provide screening for parking areas with appropriate fencing or landscaping.
- Consider using trees native to the area. Indigenous trees will require less maintenance and compliment existing vegetation and natural features. Trees

secured from cleared sites can be relocated within the landscaped areas.

### **2.3.6 Fences**

- The placement of low fences or hedges shall be encouraged between the sidewalk and residential units, separating public sidewalks from semi-public front lawns.
- The maximum height for fences and hedges shall be 42 inches, except when used for required screening.
- Encourage the use of wooden or vinyl picket fences.
- Chain link fences shall not be used.
- Fencing along rear lanes shall be consistent in design and height.

### **2.3.7 Signs / Mailboxes**

- Signs shall be architecturally compatible with a building's facade.
- The size of the sign shall be limited to two percent of the building's ground level facade. Hanging signs shall be a maximum of nine square feet.
- Mailboxes should be paired and uniformed and traditional in appearance and shall include newspaper slots

### **2.4 Open Space**

- A minimum of 25% of the gross area is to be dedicated as open space. Common open space shall be provided as both internal and peripheral open space connected into a greenway system that can be used for social and recreational purposes and/or preservation of environmentally sensitive areas. Common open space shall be dedicated in perpetuity to prevent future development. Methods to set aside open spaces include permanent deed restriction or conservation easement.

- Internal or formal open space areas shall contain a minimum area of 500 square feet and shall be of a distinct geometric shape, generally rectangular or square and bounded mostly by streets. Internal formal open space shall be spatially enclosed by the buildings that front on the area or front upon the streets bounding the area. They shall be landscaped using formal square elements including shade trees, shrubs, flower beds, walkways, statues, gazebos, fountains, benches, and pedestrian lights.
  
- There will be one primary Village green, centrally located on Cherry Hill Road across from the Old Schoolhouse to serve as the focal point of the community. The Village green shall have a minimum area of 10,000 square feet and shall provide adequate space for concerts, outdoor exhibits, and community gatherings to meet the needs of the future residents of Cherry Hill Village. Higher density development shall be concentrated on the Village Green and may include commercial, residential, and community facilities.
  
- The internal open spaces are to be connected into a system of parks and open spaces linked by pedestrian and bicycle ways through the road network and other open spaces. One such central internal open space loop shall connect the Village Green with the Schoolhouse, Inn, Cemetery, Church, Creamery Building, and the Old Ford Factory. This central loop may also incorporate portions of the Lower River Rouge corridor.
  
- The open space shall be integrated with the site features. Its width may vary depending on the site characteristics such as agricultural land, creek or river, undeveloped properties, or arterial roadways.

- Common open space shall contain environmentally sensitive areas such as creeks and rivers, wetlands, woodlands, and areas of mature vegetation worthy of preservation. The preservation of undeveloped open spaces in their natural state is encouraged. Only minor improvements such as pedestrian and bikeways, picnic areas and signage shall be permitted in these areas.
- The open space may include recreational facilities such as soccer, baseball, football, and other field sports that will not be lighted.
- The ownership, administration, and maintenance of common open space shall be determined by the provisions of the Planned Development agreement and by-laws, as approved by the Township Board.

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# **Section 3 Architectural Guidelines**

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### 3.1 Existing Architectural Features

A survey of existing buildings, located in and outside the historic core, provided the basis for summarizing the extant architectural features of the community:

- *Building use:* agricultural, commercial, outbuildings, and residential, with the predominant focus on residential (42%). The historic core has the widest diversity, while the rest of the study area is primarily residential.
- *Building mass:* simple geometry, grouped massing with extensions and wings added over time. Plans are rectangular, square, or L-shaped, and height is one-to-two stories.
- *Roof types:* simple gable, cross-gable, and hip roofs. A simple gable roof is the most common roof type followed by the cross-gable. Flat roofs are found only on commercial buildings.
- *Ridge orientation:* with the exception of the Significant buildings, on most other buildings the roof ridge is parallel to the road.
- *Façade/lot orientation:* 72% of the buildings present a “wide” face to the street.
- *Materials:*
  - foundations are predominantly stone, some concrete.
  - wall materials are wood with wood trim, some asphalt siding or brick.
  - roofs are wood or asphalt shingles.
  - fences are wood.
- *Entry types:* nearly all buildings have an entry facing the road, many also have a secondary side entry.

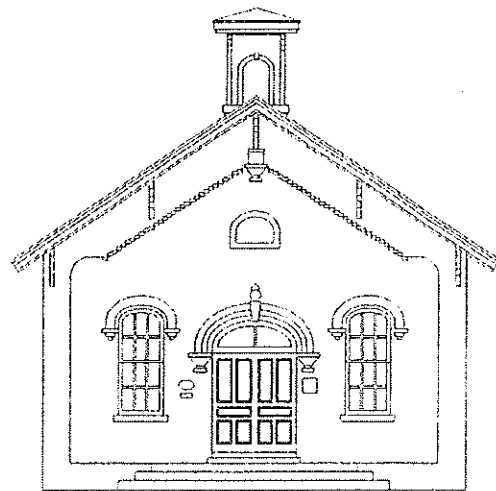
- *Porches:* small covered stoops to large, outdoor, contemporary decks. Three residences have ornate high-style Italianate porches. Other buildings, including commercial buildings, have simple porches with minimal decorative treatment.
- *Doors:* except on Significant buildings, which may be elaborate, doors are generally plain and modern.
- *Windows:* single and multi-lite double-hung, grouped casement & fixed sash, and bay windows. *Window types are not mixed on any one building, but consistent throughout the structure.*
- *Fences:* wood, painted or unpainted, with differences between the front and side yard detailing.

### 3.2. Architectural Styles in Cherry Hill

While encompassing characteristics of many architectural styles (Italianate, Gothic Revival, Greek Revival, Queen Anne, and contemporary), *Cherry Hill's architectural heritage has a notable distinction between **high style** and **vernacular** architecture.*

The important buildings in the community (school, church, inn, and the homes of some of the historically important members of the community) have high style architectural features, while the rest of the buildings adhere to the simplicity of a rural vernacular architecture.

The Houston House is an example of a high style Greek Revival building with detailed style-defining features. It has a rectangular footprint with a low-slope gable roof. The chimney is placed in the center and the gable end is the main façade. Fenestration is very symmetrical, two windows on each side of the entrance door on



*Schoolhouse*

*Figure 1: Schoolhouse facade. Note detailed architectural features.*



*Figure 2: Houston House, Cherry Hill. An example of Greek Revival style.*



the first floor. The two windows on the second floor are also placed symmetrically in the two middle spaces, formed by the three openings on the first floor. Windows are vertical, double-hung with six-over-six sashes. Decorative details include gable returns and a complete classical cornice with frieze, window and door casing, corner pilasters with Doric order reference. The later porch is consistent with Queen Anne period detailing, having pilasters with base, shaft and capital, cornice, ornate brackets, and turned balustrade.

Rural vernacular architecture is characterized by a simple rectangular plan and symmetrical elevation features. Fenestration is simple and symmetrical, as are massing and roof form. Decorative features are simplified or missing entirely. Materials are those most commonly used for the period of construction.

### 3.3. Design Guidelines

#### 3.3.1. General Recommendations

These guidelines are derived from an understanding of the architectural heritage of Cherry Hill, and with the goal of perpetuating a sense of place, character and community. They are further intended to emphasize human scale and to encourage pedestrian activity.

The guidelines address:

- a. changes and additions to existing buildings versus new construction,
- b. commercial versus residential use, and
- c. Historic District vs. balance of study area.

**Future development should preserve the character of the local architectural heritage, using a simple vernacular architectural style,**



*Figure 3: Cherry Hill, An example of vernacular style residential building.*

with high-style architectural details on prominent buildings in the historic core.

**Significant buildings and landscapes – the Methodist Church, the Cemetery, the Schoolhouse, the Inn and the few high style residential buildings in the village core - should be locally designated as historic.** Added guidelines or restrictions may be developed to specifically address these significant buildings. The general approach for review of any changes, additions, or demolition to these buildings should follow *the Secretary of the Interior's Standards for Rehabilitation*.

Additions, changes, infill, and new construction should consider the visual context in which it will be placed. Building construction should also be sympathetic in massing, stylistic details, and materials to the extant vernacular style.

New construction is encouraged to explore a variety of updated traditional styles, while continuing the local vernacular pattern. Each building, however, should express only one architectural style.

### 3.3.2. Building Use

An overview survey of the Cherry Hill study area identified four use categories: agricultural, commercial, residential, and various outbuildings. It also identified three categories of significance for all buildings: significant, contributing, and non-contributing. *Future development should adopt and continue the patterns associated with contributing buildings, as described in the following sections.*

Cherry Hill has no existing “main street” type development, and commercial use can not be distinguished from residential use by building type, therefore, new construction may follow residential or commercial building types.

*SIGNIFICANT building, structure or site has unusual historic and aesthetic interest to a community.*

*CONTRIBUTING BUILDING is important for its context. It might have modest individual contribution, but its presence in the overall perception of a place is essential.*

*NON-CONTRIBUTING BUILDING does not add to or compliment the built environment. Its presence in the overall perception of a place is detrimental.*

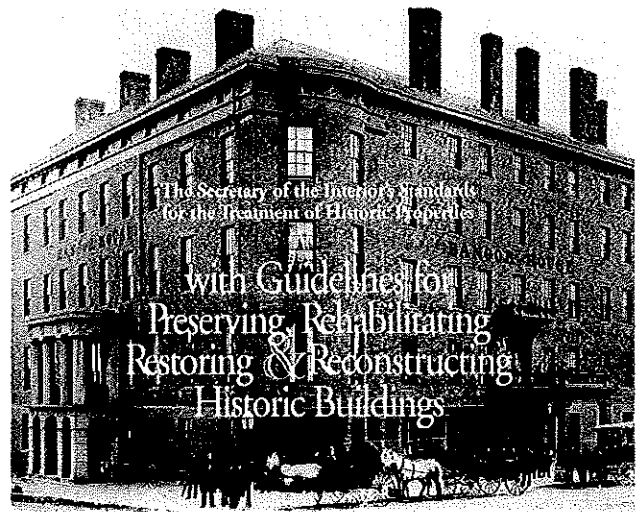


Figure 4: Cover of the published edition of the Secretary of the Interior's Rehabilitation Standards. Information can also be found at <http://www2.cr.nps.gov/tps/standards/>

### 3.3.3. Building Height

Recommended new construction within the Historic District should include building heights of one to two stories for residential use and two stories for institutional and commercial use. Outside the historic district building heights may be one or two stories.

Additions should consider the height of the existing building, so as to complement and not overpower the original building. Height of additions, regardless of use, should be equal to or less than the height of the existing building.

Additions to non-contributing residential one-story buildings, such as newer buildings without significant architectural features, may be two-stories in height.

Overall, recommended building heights are between one and two stories for all uses.

### 3.3.4. Footprint

Simple geometric footprints, such as a rectangle or L-shape, are strongly recommended for agricultural, commercial, and residential use, and various outbuildings, throughout the Cherry Hill study area.

### 3.3.5. Roof types

Additions, infill construction, and new buildings and outbuildings are recommended to have simple gable and cross-gable roofs, with a slope of 6:12 to 10:12. Hipped, gambrel, and mansard roofs occur infrequently and are not recommended in the Cherry Hill study area. Flat roofs found on commercial buildings are not recommended for residential use.

Buildings with special uses, e.g. institutional or religious buildings, may be allowed to have more complex roof shapes and steeper slopes.



Figure 5: Recommended residential building heights.

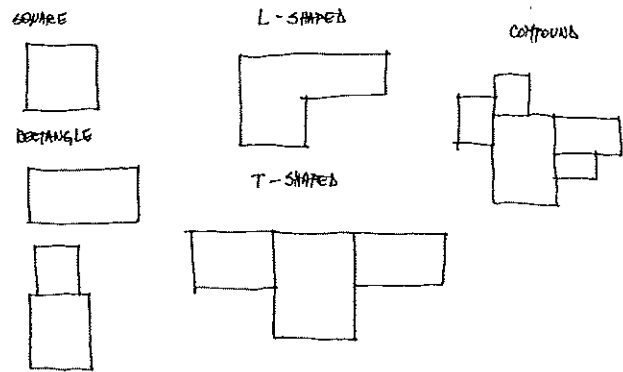


Figure 6: Recommended footprints.

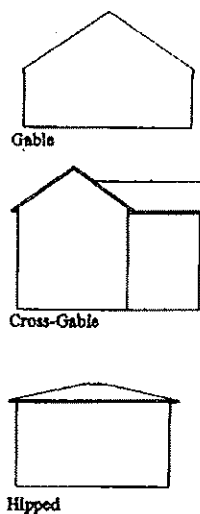


Figure 7: Recommended roof types for residential and commercial architecture.

Roofs on porches should be consistent with the architectural style of the house, but typically have a low slope.

Roofs on outbuildings should be consistent with the primary structure.

### 3.3.6. Massing

Simple solid geometry is typical of the rural vernacular architecture style, and should be continued for infill and new construction for all uses and building types.

Greater variety may be permitted for residential than for commercial buildings. For complex larger buildings, multiple rectangular volumes and simple roof forms are recommended. Infill and new construction should continue the three- or five-bay pattern of fenestration, with doors centered or placed asymmetrically, and the primary façade facing the public right-of-way.

Commercial buildings that do not have the same massing as residential buildings should have a simple rectangular form with a storefront facade. A typical storefront façade should be three bays wide, and two stories in height, divided horizontally by a cornice or signboard. The ground floor should have a full-width glass and door treatment typical of storefront design, and the upper floor should have three windows topped by an upper cornice or parapet.

Barrier free entrance should be provided at the first floor entry to all public and commercial buildings.

Doors should be recessed 3-4 feet from the front face of the building. Storefront windows should have a minimum sill height of 18 inches.

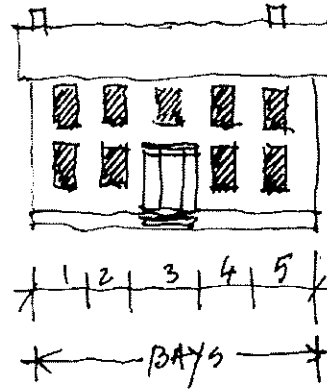


Figure 8: Recommended bay pattern fenestration for residential buildings.

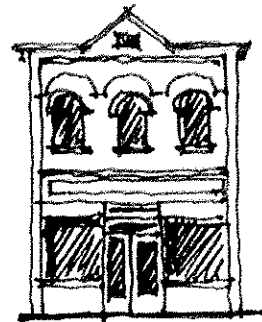
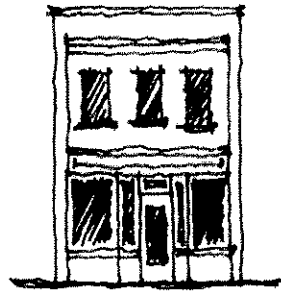


Figure 9: Recommended fenestration typology for commercial architecture.

### 3.3.7. Building Materials

Building materials should be selected that closely match or are visually compatible with those materials found on significant and contributing buildings in the Cherry Hill study area. Placement should correspond to their use and *division of the building volume into foundation, walls, and roof*, with porches treated as a separate element.

Changes and additions should complement the buildings to which they are attached.

Recommended materials for new construction should emulate natural materials:

- a. wood or asphalt shingles for the roof; outside the historic district, dimensional asphalt shingles may be used.
- b. brick or horizontal beveled wood siding for walls.
- c. uncoursed fieldstone for the foundation; outside the historic district, brick or other materials that emulate natural materials, may be considered.

Color palette should be influenced by colors appropriate to the architectural style of the overall building and its specific elements, but it is not necessary to be restricted in these guidelines. The amount of creativity allowed by color, combination of materials, and siding type ensures a wide diversity of appearance for future development.

### 3.3.8. Porches

The front porch design should ensure that it is a prominent feature and large enough to be used as a gathering space.

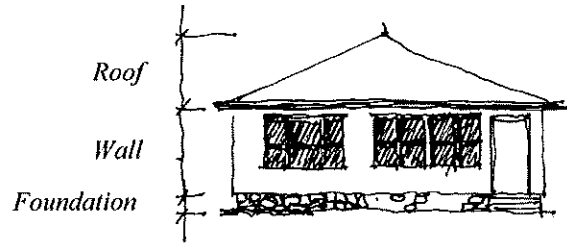


Figure 11: Exterior appearance should divide the volume into: roof, walls, and foundation.

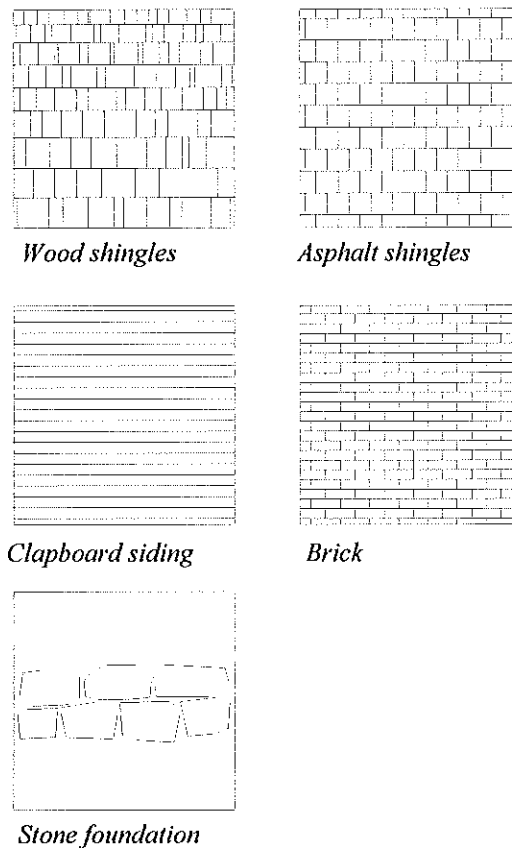


Figure 12: Recommended building materials.

There are three types of existing porches that are encouraged for future development:

- a. full façade-width covered front porch,
- c. wrap-around front and side porch,
- a. shed or gable cover at side or rear entrance steps.

Porches should be elevated 4-to-6 steps above grade level. Overall height should be one story, with the roofline typically terminating under the sill of the second floor windows. The length of the porch should extend from one to three bays of the façade. Porch width should be held in from the primary façade 1 or 2 feet, to distinguish the porch element from the massing of the main building.

An attached porch should use stone, brick, lattice or stuccoed concrete for the foundation, with a wood deck floor sloped to drain. Columns, railings, trim, which should be of wood, and roof materials should be consistent with the style of the building to which the porch is attached. All wood trim and architectural features shall be smooth finish and painted.

Key elements of new porch construction include the following:

- a.) Full-height posts that are square, round and tapered, or turned should match the architectural style of the overall building. For instance, square columns are most appropriate for Greek Revival style buildings, sometimes as small as 5 inches square, and sometimes much larger and exaggerated in scale. Columns on late 19<sup>th</sup> century porches of the Queen Anne Style are typically turned.
- b.) Newel posts should correspond to the design of full-height posts, and are used at the top and bottom of steps to grade.

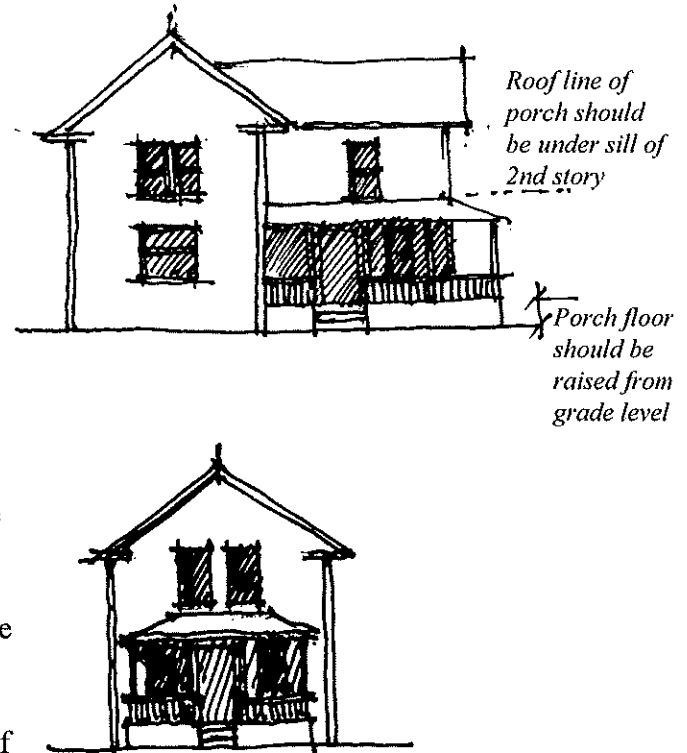


Figure 13: Recommended porch configuration.

- c.) Railings with vertical spindles are recommended for open porches. Railing height should not exceed 30 inches, subject to compliance with local codes. Alternative designs where height is a concern, could include trellises, window boxes, or added rails. Spindles, either round or square, should fit within top and bottom rails, and not be attached to the outside face.
- d.) Porch floor should be 1 x 3 or 1 x 4 tongue-and-groove fir deck, laid perpendicular to the front wall of the building.
- e.) Porch ceilings should be finished with smooth finished material. Tongue-and-groove bead board is recommended.
- f.) Steps should be constructed of nominal 1 inch thick wood boards, with rounded nosings on treads. Concrete pre-cast steps are not recommended, although brick steps are permitted.
- g.) Roof of a full width front porch should be hipped with a shallow pitch that sits under the sill of second floor windows. Recommended porch ceiling material is tongue and groove bead board.
- h.) Trim, brackets, decorative shingles, and moldings should be appropriate to the style of the building.

Changes or new porches at any of the existing significant or contributing buildings should be treated in compliance with *the Secretary of the Interior's Standards for Rehabilitation*.

**3.3.9. Doors:** Doors are key elements of exterior appearance, both for residential and commercial buildings.

Commercial buildings should have wood doors with full or half lights in a simple stile and rail configuration. Residential buildings should have

wood doors with full or half lights, similar to commercial buildings, or 4- or 5-panel doors. Aluminum or composite, simulated panel doors are not recommended.

Wood storm and screen doors are recommended; aluminum storm doors are not recommended.

**3.3.10. Windows:** Windows are key elements of the building exterior appearance, and should be compatible to the overall architectural style. Specific features include the frame, sash, muntins, glazing, and glass. Additional features associated with windows include decorative window hoods or lintels, sills, exterior casing and moldings, and shutters.

In the Cherry Hill study area, most windows are double-hung wood windows with true divided lights, and muntins in a six-over-six configuration. Projecting 1-story bay windows include multiples of double-hung windows. Bay structure may be cantilevered at first floor, or extend to grade. Projecting 2-story bays are prohibited.

New construction projects should use double-hung wood sash in a wood frame, or in alternate materials, such as aluminum, but with a profile that matches the profile of a traditional wood sash in a wood frame. Wood windows may be clad at the exterior. Vinyl windows are not recommended. Sash may be single lights in a one-over-one configuration or multiple lights in a six-over-six configuration, respective to the chosen architectural style.

Muntins, used to give the appearance of true divided lights on new windows with insulated glass should be adhered on the exterior side of the glass, and aligned with spacers in the insulated space between glass panels.

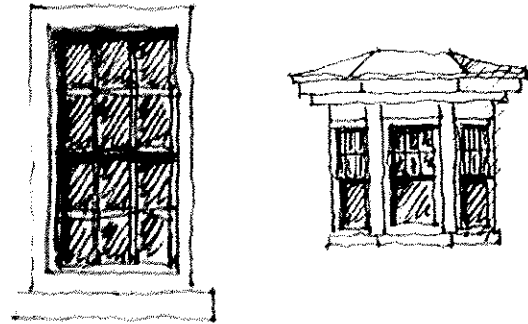


figure 15: Examples of 6x6 double hung window, and bay window.

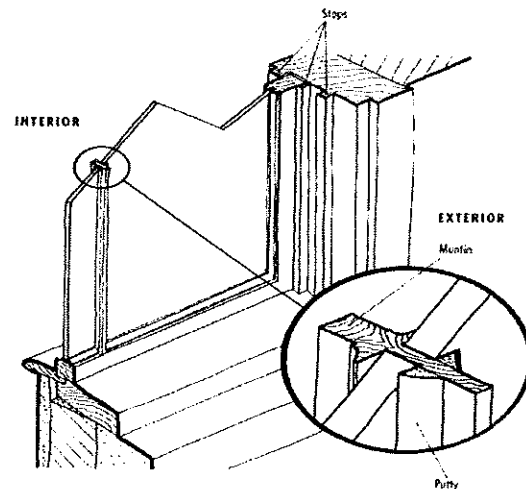


Figure 16: Recommended true muntins. German Village Design Guidelines, Columbus, OH



Storm windows may be used on new construction or to update and insulate existing single-pane windows. They should match the sash frame width, meeting rail width and location, and be set within the exterior window frame opening. Raw aluminum storm windows are not recommended.

On commercial storefront windows, divisions should be made appropriate to the architectural style of the building, in keeping with traditional storefront design.

**3.3.11. Chimneys:** Chimneys are an important feature of the building exterior, and they should represent traditional masonry construction. Brick masonry projecting up through the roof to the required height should be capped in pre-cast concrete, and have a tile flue extending beyond the cap. Corbeling may be used to enhance the masonry, where it is consistent with the architectural style of the building.