

# JEROME VILLAGE

## The Jerome Village Property Code

Version 6.0

# Jerome Village Company LLC

Master Developer



**Nationwide**<sup>®</sup>

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JEROME VILLAGE

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## A. Project Description

Jerome Village represents a new way for people to live, work and play. Through careful and long range planning that references many of Ohio's great historic towns, Jerome Village has been designed to avoid the traps of typical automobile-centric suburban "sprawl". Instead, Jerome Village will be a place that reflects the personal values of its residents which include the importance of family, connectedness, conservation, and a healthy respect for the past. In short, Jerome Village is how people want to live.

Situated entirely within Jerome Township, Jerome Village is located in the southeastern corner of Union County and neighbored by Delaware, Franklin, and Madison Counties. The village itself uses a mixture of Conservation Design and Smart Growth Principles. Conservation Design focuses on keeping 40 percent of the development as open space, retaining as much of the natural features and special habitats as possible and using smaller lots and cluster development to achieve these goals. Smart Growth is a growing development trend that rejects sprawl in favor of well-planned communities that integrate the essential components of life. Where sprawl creates low-density, automobile-dependent, environmentally damaging, and economically segregated communities, Smart Growth incorporates a mixture of land uses into one contained community; attracting a diverse range of families and protecting local character and environmental systems. The combination of these two design principles used to develop Jerome Village is called Grow Smart.

Grow Smart creates a sense of community by providing a variety of housing options that encourage and welcome people from all income levels. Grow Smart builds on this



Jerome Village  
Illustrative Master Plan

rich diversity by offering central locations for the entire community to congregate, while being sensitive to the land and natural resources.

In keeping with these principles, Jerome Village will feature a convenient town center at the very heart of the community. Tree-lined streets will connect stores, civic buildings, schools, parks, and traditional urban-style housing for a community that's pedestrian friendly and close to goods and services.

As a contained, mixed-use community, Jerome Village is planned to include a blend of residential, commercial, retail, and recreational spaces, all anchored by a bustling town center. The town center will be a natural gathering place for families and community, and will be centrally located to a variety of residential types.

## I. Introduction

Jerome Village will be a traditional neighborhood with distinctive housing, ground set aside for two elementary schools and a middle school, a community recreation center, a collection of local shops, a community swimming pool, and a retirement village.

opportunity to perpetuate and grow, offering families a new alternative to suburban sprawl; a new way to live, work, and play for generations.

A regional greenway system consisting of trails and open space will link the Glacier Ridge Metro Park to all areas of the community. This greenway system will serve as the hub for the many parks and trails that will wind their way throughout the community, creating corridors that will lead to destinations within the development.

Jerome Village will meet the growing need for housing in the Dublin area; providing a mix of housing options for a variety of income levels. The proposed 2,355 residential units will range in price from \$250,000 to more than \$1 million. Jerome Village will provide housing options for the thousands of jobs available from growth in the area including the new Dublin Methodist Hospital and the Central Ohio Innovation Center; Dublin's new research park.

The architecture of homes will be rural and traditional in character, featuring examples that emphasize the natural charm and history of the area.

Jerome Village is located north of Dublin, Ohio, and incorporates 1,500 acres of scenic farmland with a history as rich as its natural beauty. Soon, this area will begin yet another chapter of its compelling story; one that celebrates and preserves the family values and community-oriented heritage of past generations, while offering new opportunities to the next.

The area boasts a long and robust agricultural history and a rustic beauty all its own. Faith, family, and patriotism have endured for generations in the area and with the creation of Jerome Village, these qualities will have the

## **B. Introduction to the Property Code**

### **1. Design Purpose and Intent**

The intent for Jerome Village is to create a community that maintains a small town character, protects scenic and natural resources, provides for ample public facilities, and develops in an orderly and consistent manner. To help accomplish this goal the development is broken down into a series of neighborhoods or sub-areas; each sub-area having its own purpose, permitted uses and regulations that control the use of land within it. It is these districts and their individual regulations that make up the framework for this Property Code. All development within each district shall be consistent with the purposes stated in this document.

The Jerome Village Property Code will establish a standard of excellence that will meet and exceed the expectations of Jerome Township. The purpose of this document is to provide a framework for the development of the site that will protect the rural agricultural heritage of the area. Through the creation of standards for the location of structures, building architecture, streetscape and an architectural review process; the development will reflect the nature of a well planned community. The design, location and appearance of the Jerome Village Neighborhood will establish a benchmark for quality that serves the economy, community, and environment.

The principles for the Jerome Village Property Code are:

- Contribute to the compact urban form
- Preserve natural features and open space and utilize them as the underlying framework that guides the development.
- Provide a mixture of land uses that facilitate walkability and less dependence on the automobile.

- Provide a mixture of housing types to create living opportunities for individuals and families of various stages and income levels.
- Base architectural styles on turn of the century prewar traditional examples with regional historic influences.
- Integrate and link the places where people live, work, shop, and enjoy their leisure time.
- Improve accessibility to public facilities and open space.
- Provide flexibility to allow creative development while ensuring a framework for quality.
- Ensure high quality architecture, landscape and development standards.
- Incorporate a greenway system for a safe and easy commute between districts.
- Use low impact design stormwater drainage techniques that are sensitive to the environment.
- Incorporate “Green Standards” and sustainable design for land use and building construction.
- All structures are strongly encouraged to be Energy Star Certified.

### **2. Information Within**

The Jerome Village Property Code contains the following information: Definitions, the Lotting Standards, the Building Envelope Standards, the Landscape Standards and the Architectural Standards. The Commercial Center Property and Architectural Design Code is a separate document, as is the Architectural Pattern Book.

- a. Definitions: Certain terms in the Code are used in very specific ways, often excluding some of the meanings of common usage.
- b. The Lotting Standards: The Property Code is the guideline for the Jerome Village that provides specific information for the layout

and design of each building site. The lotting standards also govern how each lot relates to the public spaces (streets, green space, parks, pedestrian pathways, etc.) and the surrounding environment. There may be additional design guidelines for lots in special locations as identified in the Property Code.

c. **The Building Envelope Standards:** The Building Envelope Standards establish the basic parameters governing building form, including the envelope for building placement (in three dimensions) and certain permitted/required building forms, including the building elements, such as parking, balconies, and street walls. The building envelope standards establish both the boundaries within which things may be done --and specific things that must be done. The applicable standard for a building is determined by its street frontage.

d. **The Landscape Standards:** The purpose of the Landscape Standards is to create a desirable streetscape and to assist builders and owners with understanding the relationship between the public space and their own properties. These Standards set the parameters for planting of trees on or near each building site and overlay the requirements of the specific plan.

### **3. How to use this Document**

All interested builders and architects must be pre-approved before any submission to the DRB. This process will involve an introductory meeting with the DRB to review the goals and intent of Jerome Village.

## **C. The Jerome Village Architectural Standards**

### **1. Architectural Pattern Book**

The Architectural standards will provide a coherent and pleasing architectural character that is consistent with the best traditions. Architectural styles shall be based upon turn of the century pre war traditional examples with regional historic influences. The Architectural pattern book governs a building's architectural elements regardless of location and sets the parameters for allowable materials, configurations, and construction techniques. Products equivalent to or better than those specified are required and will be submitted for approval to the DRB (Jerome Village Architect).

### **2. The Architectural Review Procedure**

The role of the DRB has been established to administer an Architectural Review procedure for the development of properties within Jerome Village. A three (3) member board will serve with the responsibility to review the proposed architecture and landscape plans for compliance with the Jerome Village Property Code and to provide design guidance when necessary.

a. **Basis for Approval:** Review and approval will be based on standards set forth in this code. Plans will be reviewed not only for the quality of the specific proposal, but also for the development's effect and impact on adjacent owners, lessees or tenants in Jerome Village. Evaluation will be made of spatial relationships among and between buildings and other surrounding elements as well as the extent to which the proposed development accomplishes the principles set forth in the Design Purpose and Intent for the Property and Architectural Design Code for Jerome Village.

b. **Interpretation and Waiver:** The DRB's interest in reviewing the above items is to assure that a high standard of compatible development



is consistently achieved. When questions of judgment or interpretation arise, the decision of the DRB is final. All issues not covered specifically by the Property Code will be resolved by the DRB on a case-by-case basis.

In order to meet special unforeseen situations, it may be desirable from time to time for the DRB to allow variances of certain requirements of the Property Code. Any variances granted of the Design Code shall be made in the welfare of the overall development in mind and shall not be considered as precedent setting. Any variance granted by the DRB shall not be construed to be a variance of any applicable zoning use provision or development standard, or any other regulation of any Federal, State or local regulatory agency having jurisdiction over any aspect of development within Jerome Village.

c. Federal, State, and Local Ordinances: All applicable requirements of federal, state and local governments, statutes, laws, ordinances, codes and regulations (code requirements) must be complied with in the development of each parcel. Each owner must verify such code requirements, and neither the DRB or its designate shall have responsibility to insure compliance with code requirements. Approval of designs or construction by the DRB is required by letter before submitting plans to the applicable authority. Approval by the DRB does not relieve or supersede approval requirements of other authorities having jurisdiction. Where code requirements overlap or appear to be in conflict with the requirements of this Property Code, the more stringent provisions shall govern.

Note: Because Jerome Village has a 10 to 12 year build-out period, this document is subject to change depending on market conditions.

## II. Development Objectives

### A. DEFINITIONS

Definitions - Certain terms in the Code are used in very specific ways, often excluding some of the meanings of common usage.

**Air Vac System:** Sewer collection system that is being deployed in the southern portion of the Jerome Village project that will collect and route waste from the homes to the regional pump station.

**Ancillary Structures:** A building that may include garages, carriage houses (a garage with a livable second floor), and garden sheds and pavilions. These structures should always be smaller than the main house and, wherever possible, should have similar detailing as the main house. In general, ancillary structures are detached from the main body of the house although they may be connected with a variety of elements like breezeways, fences or pergolas.

**Apartment Building:** A building arranged, intended or designed to be occupied by eight (8) or more individuals, groups of individuals or families living independently of each other and with cooking facilities for the exclusive use of each of the individuals, groups of individuals, or families who occupy the premises. The number which an apartment house is designed to accommodate shall be determined by the number of separate dwelling units in such dwelling.

**Attached Residential:** A building arranged, intended or designed to be occupied by two (2) or more individuals, groups of individuals or families living independently of each other and with cooking facilities for the exclusive use of each of the individuals, groups of individuals, or families who occupy the premises.

**Arcade/gallery:** An element in architecture, a long hallway flanked with walls or rows of columns. A narrow balcony, usually including a railing, inside or outside of a building .

**Awning:** A hood or cover that projects from the wall of a building intended only for shelter or ornamentation.

“Fixed awning” an awning constructed with a rigid frame which cannot be retracted, folded or collapsed.

“Illuminated awning” a fixed awning covered with a translucent membrane and which is, in whole or part, illuminated by light passing through the membrane from within the structure; also known as an “electric awning.”

“Retractable awning” an awning, which can be, retracted, folded, or collapsed against the face of the supporting building.

“Canopy” an awning, which is additionally supported by one (1) or more columns.

“Marquee” a fixed awning or canopy, which requires additional loading for graphics.

**Balcony:** A kind of platform projecting from the wall of a building, supported by columns or console brackets, and enclosed with a balustrade. The traditional Maltese balcony, is a wooden closed balcony projecting from a wall.

Alternatively it does not protrude out of the building, but is an open part of an upper floor, with a balustrade only at the front, and walls on the sides. Usually a door provides access to a balcony.

**Buffer Zone:** A land area that cannot be included in the front, side or rear yard dimensions. This area must be in addition to standard minimum yard dimensions. It must be landscaped and/or mounded to provide a visual barrier.

**Build-to-Line:** The front yard setback is the build-to-line. At least fifty percent of the front elevation must be built at the build-to line on all interior lots and at least thirty percent of the

## II. Development Objectives

front elevation must be built at the build-to line on all corner lots. Recessed plazas, courtyards and trellises are encouraged. The applicant may increase the depth of the build-to-line by up to fifteen feet if the variation is used to promote a pedestrian-oriented use, i.e., special landscaping, outside seating for a restaurant, etc.

**Buildable Area:** The remaining area of a lot once the rear yard, side yard, front yard setbacks and all easements are established.

**Building:** Any structure having a roof supported by columns or walls, used or intended to be used for the shelter or enclosure of persons, animals or property, including detached garages and permanent canopy structures.

**Building Addition:** A part added to a building, either by being built so as to form one architectural whole with it, or by being joined with it in some way, as by a passage, and so that one is a necessary adjunct or appurtenance of the other or so that both constitute the same building.

**Building Envelope:** is comprised of the outer elements of a building—foundations, walls, roof, windows, doors and floors. The prime functions of the building envelope are to provide shelter, security, solar and thermal control, moisture control, indoor air quality control, access to daylight, and views to outside, fire resistance, acoustics, cost effectiveness and aesthetics.

**Building Frontage:** The side, or facade, of a building closest to and most nearly parallel to an abutting street.

**Building Frontage, Primary:** A building frontage that abuts a street listed as a primary street in the applicable Overlay Areas subsection of this chapter

**Building Frontage, Secondary:** A building frontage that abuts an alley or a street not listed as a primary street in the applicable Overlay Areas subsection.

**Building Rear:** The wall or plane opposite the primary building frontage. For a building on a corner lot, the building rear is the wall or plane opposite the wall or plane containing the principal building entrance.

**Building Setback Line:** The line, beyond which no building or parts thereof shall project, except as otherwise provided in this ordinance.

**Building Square Footage:** The measured floor area of a structure that is enclosed and conditioned (heated or cooled). Square footage calculations shall include all floor levels. Basements, garages, attics, etc. are excluded from the building square footage.

**Common Lot Lines:** Adjoining lot lines to two or more separate parcels.

**Community Development Authority:** A corporation established to develop economic programs and provide financial support for a community.

**Community Parks:** are programmed open spaces that are intended to be used by all of Jerome Township residents.

**Condominium:** A building consisting of a series of three or more attached or semi-detached dwelling units, each with a ground floor and a separate ownership.

**Civic Building or Use:** A building or location used for community meetings and/or activities including, but not limited to, Fire/police substation, Township Hall, school administration, recreation (public and private), property listed on the National Register of Historic Places, Chamber of Commerce, Arts Council, library,

## II. Development Objectives

or other public uses owned or operated by the township.

**District:** An area within Jerome Village which certain uniform regulations and requirements, or combinations thereof, apply under the provisions of this ordinance.

**Driveway:** Any access corridor leading from a public right-of-way to a parking lot, aisle, parking circulation area, garage, and off-street parking space or loading space. The division of traffic engineering and parking limits points of driveway access from residentially zoned lots abutting both an improved alley and street.

**DRB:** The Design Review Board is a three member body which reviews and approves building designs, landscaping, and site plans to ensure an aesthetic design and compliance with the Development's property codes and pattern book.

**Easement:** A grant of property by a property owner to the use of land by the public, a government entity, a corporation, or persons for specific purposes as the construction of utilities, drainage ways, roadways, or public parking.

**Fenestration:** An architectural term referring to the arrangement of windows in a wall. From the Latin word, "fenestra," meaning window.

**Forecourt:** An open area in front of a structure's entrance. The building façade is aligned along the build-to-line at sidewalk grade.

**Frontage:** The front of a lot shall be construed to be the street or road right-of-way line. For the purpose of determining yard requirements on corner lots and through lots, all sides of a lot adjacent to street or road right-of-way lines shall be considered frontage, and yards shall be provided as indicated under "yard" in the zoning resolution.

**Greenway:** A natural corridor, typically consisting of a waterway bio-swale, community features and adjacent land for the enjoyment of all residents.

**Gross Floor Area:** The total floor area of all main and accessory buildings, whether closed or unenclosed, measured from the exterior building face, including storage areas but excluding interior areas used for parking and loading and access thereto.

**Homeowner Association (HOA):** an entity created to oversee community standards, enforce restrictive covenants of the neighborhoods and manage the direct maintenance cost of the individual communities within Jerome Village. The HOA will also collect association fees to cover the cost of maintaining the individual neighborhoods.

**Interior Landscaping:** All green space within the curb of the outer most perimeter of the paved parking area.

**Out parcel Lot/Buildings:** A lot depicted on an approved development plat which normally is not a buildable lot. Such lots are usually remnants or unusable portions of land in a development plat. Outlots, except as otherwise clearly stated or expressed, may be developed in combination with other buildable lots.

**Low Impact Design:** (LID) stormwater planning techniques, that duplicate the pre-development hydraulic functions of water infiltration and attenuation, consisting of a series of bio-swales, channels, wetlands and multiple detention basins.

**Neighborhood Park:** A piece of ground set aside for public or recreational use. These parks are established by the Developer within each sub area and turned over to the Community Development Authority for upkeep and maintenance.

## II. Development Objectives

**Open Space Reserve:** means a district established to prescribe special regulations to be applied to natural features and special areas within Jerome Village. These are passive recreational areas containing drainage and utility easements, trails and for the most part left in a natural state.

**Overlay:** Additional classifications or regulations on an area already subject to a district classification and general zoning regulations.

**Parapet:** A low guarding wall at any point of sudden drop, as at the edge of a terrace, roof, battlement, balcony, etc.

**Park:** A piece of ground, usually with grass or woodland, set aside for public or recreational use.

**Parking Lot:** Any off-street public or private area, under or outside of a building or structure, designed and used for the temporary storage of motor vehicles.

**Passage:** A movement from one place to another, as by means of going by, through, over, or across transit or migration.

**Pedestrian Pathway:** A pathway suitable for a pedestrian but not a bicycle or motorized vehicle.

**Plaza:** An open area adjacent to a building and accessible to the public. It must generally be at the level of the sidewalk it adjoins and be unobstructed to the sky except for seating and other permitted obstructions. In certain high-density zoning districts, a floor area bonus is available for provision of a residential or urban plaza.

**Porch:** A roofed platform projecting from a building at an entrance and is separated from the building by the walls of the building, and is partially supported by piers, posts or columns. A porch may be open, enclosed or partially enclosed. "Open porch" means a porch which is unenclosed (except possibly for screens) by

anything higher than thirty-six (36) inches above the floor except for the roof and roof supports.

**Primary Facade:** The exterior face of a building which is the architectural front that faces a primary street, sometimes distinguished from the other faces by elaboration of architectural or ornamental details.

**Principle Building:** A building in which the principle use of the property is conducted. All parcels containing at least one building shall be deemed to have a principle building. A parcel may contain more than one principle building's.

**Public Space:** Open to everyone, and typically frequented by large numbers of people.

**Public Way:** An alley, boulevard, bridge, channel, ditch, easement, expressway, freeway, highway, lane, parkway, right-of-way, road, sidewalk, street, subway, tunnel, viaduct, walk or other means in which a public entity has a proprietary right.

**Reconstruction:** The replacement or rebuilding of a building, premises or structure.

**Required Building Line:** The required building frontage along the build-to-line.

**Reserve:** The median within the right-of-way of Hyland-Croy Road that will maintain existing trees and habitats. The open space areas platted within the preliminary plat. These areas contain special setbacks, habitat or environmentally sensitive areas and/or scenic overlooks.

**Right-of-Way (ROW):** A strip of land acquired by reservation, dedication, prescription, or condemnation and intended to be occupied by a street, trail, water line, sanitary sewer, and/or other public utility or facility.

**Row House:** A group of attached residences, separated by vertical fire walls, in which each residence has its own front and rear yards, and

## II. Development Objectives

has appropriated to it the entire building between the fire walls.

**Setback:** The distance between a lot line or right-of-way line and a building, structure, defined outdoor area serving as the primary activity, parking lot, or vehicular circulation area.

**Shared Parking:** Parking spaces that are shared by more than one user, which allows parking facilities to be used more efficiently. It is a type of Parking Management. Shared Parking takes advantage of the fact that most parking spaces are only used part time by a particular motorist or group, and many parking facilities have a significant portion of unused spaces, with utilization patterns that follow predictable daily, weekly and annual cycles.

**Sight Triangle:** The triangular area formed by a diagonal line connecting two points located on intersecting street right of way lines (or right of way line and the curb or edge of driveway).

**Square, Civic Green:** An open area at the meeting of two or more streets.

### Story and Half Story:

“Story”: That portion of a building included between the upper surface of any floor and the upper surface of the floor next above, except that the topmost story shall be that portion of a building included between the upper surface of the topmost floor and the ceiling or roof above. When the ceiling of the lower story of a building can be used for any purpose except service equipment pertaining to the building such lower and or attic story shall be a story for the purpose of this Zoning Code. The first floor level shall mean the floor level at or nearest the grade level at the principal entrance.

“Half story” A story under a gable, hip or gambrel roof, the wall plates of at least two (2) of the exterior walls being not more than three (3) feet above the floor of such story

**Street Frontage:** The width or depth of the lot or development site along any abutting public right-of-way.

**Street Wall:** A wall or portion of a wall of a building facing a street.

**Stoop:** The front step of a porch or front entry into a residence that may encroach into a build to line from the building.

**Thoroughfare:** A street which serves as an arterial street within and between the various areas of the city and its environs.

**Townhouse:** A building consisting of a series of three or more attached or semi-detached dwelling units, each with a ground floor and a separate ownership.

## II. Development Objectives

### **B. MASTER PLAN**

The below image is showing design intent for the new Jerome Village. The site layout above is for illustrative purposes only, final layout and engineering will be determined at the time of final development.



Jerome Village  
Illustrative Master Plan

## **C. Roadway Network**

### **1. Internal Streets**

Streets and alleys shall terminate wherever possible into other streets within the neighborhood and connect to existing and projected streets outside the development. Cul-de-sacs shall not exceed 900 feet in length, must be accessed from a street providing internal or external connectivity, shall be permanently terminated by a vehicular turnaround, and are permitted where topography makes a street connection impracticable. In most instances, an “eyebrow” is preferred to a cul-de-sac. Vehicle turnarounds of various configurations are acceptable so long as emergency access is adequately provided. Minimum four foot sidewalks shall be required within all sub areas wherever bike paths or nature trails are not present.

### **2. Greenways**

The development of greenways that connect active and passive parks, schools, cultural sites, neighborhoods, and commuter destinations shall be included through out the development. All sub area developments shall have either a greenway or a connection to the greenway. Trail systems may consist of two different types. Bike paths shall consist of an 8 to 10 foot asphalt path. Nature trails, at least 5 feet wide shall consist of crushed limestone, hard bark mulch or boardwalks. Final path type and location will be determined by the DRB.

### **3. Neighborhood Traffic Safety And Traffic Calming**

A major component in street layout is neighborhood traffic safety. Traffic calming is the implementation of physical and perceptual techniques intended to slow or divert traffic on existing and planned roadways. It is often a

reactive approach to minimize high volumes of vehicular traffic.

### **4. Utility Easements**

Easements shall be sized in accordance with the Union County and City of Marysville Standard Specifications and Construction Details. Water and sanitary sewer easements are to be a minimum of 20 feet. All other utility easements shall be 10 feet wide and are required to be centered along rear or side lot lines. Wider easements may be required if the topography along the proposed right-of-way is such that maintenance equipment cannot reasonably operate within the minimum 10 foot wide easement. Any changes in the location of easements within the residential pods requires the approval of the DRB.

### **5. Drainage Easements**

Where a subdivision is traversed by a watercourse, drainage way, channel or stream, there shall be a storm water easement or right-of-way conforming with the watercourse, and of such further width or construction, or both, as will be adequate for the purpose, but in no instance less than 50 feet from the top of bank. Lakes, ponds, watercourses, and the land immediately adjacent thereto shall be considered for maintenance by the Jerome Village Community Development Authority or Union County only if sufficient land is dedicated as a public recreation area or park or if such area constitutes a necessary part of the drainage control system. See the Stormwater Master Plan. The Community Development Authority reserves the right to reject any intended dedications. Easements shall be sized in accordance with the County’s Standard Specifications and Construction Details.



## II. Development Objectives

### 6. Roadway Setbacks

The preservation for the rural character of Jerome Township shall be maintained by creating large setbacks and limiting access along existing roadways and the new Hyland-Croy extension south of the town center. The goal through the Glacier Park and Eversole Run Neighborhoods is to maintain a buffer from the back of the curb to the back of the nearest home.

### D. Stormwater Management

The Jerome Village stormwater management practices will include a variety of techniques. Conservation Design concentrates development in clustered areas and leaves a large amount of land in its natural state, thus reducing stormwater runoff. Low Impact Design and Development limits impervious impacts, maximizing flow lengths and infiltration, and increases water quality filtration. Stormwater Ecosystems will be used in the northern portion of the Village that consist of a series of bio-swales, channels, wetlands and multiple detention basins. These ecosystem stormwater management practices will add habitat diversity, open space for educational purposes and nature trail integration.

#### 1. Stormwater Management Goal

Minimize and/or eliminate the adverse environmental impacts created by development on the watershed and downstream conveyance systems by incorporating principles of Conservation Design, Low Impact Development, and Stormwater Management Planning.

#### 2. Objectives

- Mitigate stormwater impacts such as:
- Increased peak flow and frequency
- Increased surface runoff volume and decreased infiltration

- Loss of habitats and green space
- Incorporate Conservation Design principles such as:
- Open space conservation and linkages
- Preservation of natural resources
- Setbacks from use of natural drainage ways
- Incorporate Low Impact Development techniques such as:
- Maximize flow length and time over vegetation to maximize infiltration and minimize piping requirements
- Minimize flow velocities throughout the watershed to increase the time of concentration



Low Impact Design Bio-Swales Plan



Environmental Drainage System Sketch

## II. Development Objectives

- Provide natural water quality filtration and controlled flood storage throughout the site
- Disconnect impervious surface runoff from storm drain inlets and pipes
- Combine stormwater management techniques for a comprehensive stormwater ecosystem that will best manage water quantity and quality
- Use of natural surface drainage paths and open vegetated swales, bio-swales, channels and basins
- Divert low flow runoff through first flush treatment water quality wetland basins
- Use extended detention basins with sediment inlets, natural channel design, low flow streams with bankfull height floodplains and widths in wetland systems, and clog resistant outlet structures

### 3. Low Impact Design

Low impact site design and stormwater planning techniques, which duplicate the pre-development hydraulic functions of water infiltration and attenuation, will be used in the northern portion of the Village and consist of a series of bio-swales, channels, wetlands and multiple detention basins. Techniques that are used in Low Impact Design are: minimize curbs and paved swales; minimize pipes and catch basins(CB); use grass swales, bio-swales and wetlands; flatten slopes and widen drainage paths; disconnect impervious areas, CB's in lawn; use multiple basins for quality and quantity; use green roofs and permeable paving; and maximize flow lengths.

Low impact design strategies fall under the two broad categories of practices and site design. The most common concepts are summarized below:

**Practices:** Basic LID strategy for handling runoff is to: 1) reduce the volume of runoff and 2) decentralize flows. This is usually best accomplished by creating a series of smaller retention/detention areas that allow localized

filtration rather than carrying runoff to a remote collection area. For the practices noted below, special attention should be paid to the composition of existing soils, as well as new soils or amended soils used, and underlying topography. Common methods include:

Bio-retention cells typically consist of grass buffers, sand beds, a ponding area for excess runoff storage, organic layers, planting soil and vegetation. Their purpose is to provide a storage area, away from buildings and roadways, where storm water collects and filters into the soil. Permanent ponds can be incorporated into the cell design as landscaping features. Temporary storage areas without ponds may be called detention cells. Bio-retention areas have also been called rain gardens since they are typically landscaped with native plants and grasses, selected according to their moisture requirements and ability to tolerate pollutants. Annual maintenance of bio-retention cells must be planned in order to replace mulching materials, remove accumulated silt, or revitalize soils as required.

Grass swales function as alternatives to curb and gutter systems, usually along residential streets or highways. They are grasses or other vegetation to reduce runoff velocity and allow filtration, while high volume flows are channeled away safely. Features like plantings and checkdams may be incorporated to further reduce water velocity and encourage filtration. Walkways are either separated from roadways by swales, or relocated to other areas. In areas where salts are commonly used for water de-icing, careful attention must be paid to selecting plant species which are salt tolerant.

Disconnected impervious areas direct water flows collected from structures, driveways, or street sections, into separate localized detention cells instead of combining it in drainpipes with other runoff. Disconnecting the flow limits the

## II. Development Objectives



Parking Lot Example



Roadway Example



Vegetated Swales, Bio-Swales, Channels & Basins

velocity and overall amount of conveyed water that must be handled by end-of-pipe facilities.

Cistern collection systems can be designed to store rainwater for dry-period irrigation, rather than channeling it to streams. Smaller tanks that collect residential roof drainage are often called “rain barrels” and may be installed by individual homeowners. Some collection systems are designed to be installed directly under permeable pavement areas, allowing maximum water storage capacity while eliminating the need for gravel beds. Other innovative systems incorporate graywater collection for additional water conservation.

**Site Design:** Decreasing impervious surfaces can be a simple strategy to avoid problems from stormwater runoff and water table depletion, by reducing surfaces that prevent natural filtration. Methods may include:

Reducing roadway surfaces can retain more permeable land area. In some cases, planners have reduced pavement needs by up to 40% by using longer, undulating roads that create more available lot frontage, instead of wide shorter streets and more intersections. Other options may include shared driveways, “flag” lots with

## II. Development Objectives

reduced street frontage, landscaped detention islands within cul-de-sacs, or alternate designs for turn-around areas.

Permeable pavement surfaces can be constructed from a variety of materials, including traditional asphalt and concrete, gravel or pavers. Permeable roadway or parking areas allow water to flow through, replenishing soil areas directly beneath. However, the sub-base underneath permeable pavements must be engineered to accommodate temporary water storage and filtration. IN many cases, permeable surfaces can reduce or eliminate the need for traditional stormwater structures.

### 4. Stormwater Design Intent

Stormwater will be directed and absorbed into the landscape through use of an extensive system of Bio-swales, wetlands, retention ponds, and detention ponds.

### 5. Watershed Overview

The proposed development consists of approximately 1395 acres all lying within the Eversole Run watershed, which is a tributary to the Scioto River. The Eversole Run watershed can be divided into 3 subwatersheds, North, Central and South. The North subwatershed consists of about 1519 acres, which drains under Jerome Road at three locations (938 ac, 114 ac, 19 ac), under Home Road at four locations and ultimately under Concord Road. There is also a small portion of the development (80 ac), which will drain into a small tributary of the northern creek. The three culverts under Jerome Road, the culvert under Concord Road and the small tributary will be the primary runoff control locations for the North subwatershed.

The Central subwatershed consists of about 2697 acres which drains under Jerome Road at three locations (2550 ac, 68 ac, 79 ac), and an additional 61 acres on the east side of Jerome Road. The three culverts under Jerome Road and the

eastern portion of the development will be the primary runoff control locations for the Central subwatershed. There are also three culverts under Wells Road, which will be impacted by runoff from the development and these three locations will be secondary runoff control locations.

The South subwatershed consists of about 406 acres, which drains under Jerome Road at one location. This culvert will be the primary runoff control location but there will be several secondary runoff control locations at discharge points from the development along the stream, which drains through the South subwatershed.

### 6. Requirements

The design of all public and private development areas shall meet the following regulations and requirements:

The Ohio EPA's latest regulations for the NPDES Phase II General Permit for Storm Water Discharge from Small and Large Construction Activities including preparation of a SWPPP for sediment and erosion control and post-construction water quality standards.

Union County regulations for stormwater management, sediment and erosion control, subdivisions, and any other applicable local regulations.

The Stormwater Master Plan for Jerome Village including submittal of the SWPPP, NOI, and supporting calculations for review and compliance verification.

### 7. References

The design of all public and private development areas shall use the following reference materials during design for elements not covered by the above requirements:

## II. Development Objectives

Ohio DNR “Rainwater and Land Development” manual, latest version

City of Columbus “Stormwater Drainage Manual”, latest version

“Low Impact Development, Technical Guidance Manual for Puget Sound”

US Interagency publication “Stream Corridor Restoration, Principles, Processes, and Practices”

### 8. Proposed Controls

Community stormwater management systems will be designed for most of the North subwatershed and for portions of the Central and South subwatersheds. Individual site stormwater management basins will be designed for the remaining areas of the development, which cannot be included into a community system.

Peak developed runoff shall be limited to less than or equal to the peak existing runoff rate for all storms including a 1-inch rainfall event and the 1-year through 100-year rainfall events. The developed runoff volume, during the same time period of 24 to 30 hours, shall be limited to the existing runoff volume for all storms including a 1-inch rainfall event and the 1-year through 100-year rainfall events. The increased runoff volume created by development shall be detained onsite and released during the time period from 30 hours up to 120 hours at a rate which is less than the 1-year existing peak runoff rate or 20% of the existing design storm peak runoff, whichever is less, for all storms including the 1-year through 100-year rainfall events.

The proposed development will consist of new roads, single-family residential, multi-family residential, commercial, office, and institutional uses. A Stormwater Master Plan has been proposed to serve the new development, which incorporates Conservation Design, Low Impact Development techniques, and community

Stormwater Ecosystems designed to meet the State of Ohio NPDES regulations for water quality control and minimize the impacts from development.

### E. Parks, Open Space and Greenway (Trail) System

#### 1. Goal

Create parks, open space, and a trail system that provides a range of recreational opportunities and enhances the overall image and appearance of Jerome Village. The open space elements will be linked to the Glacier Ridge Metro Park to create a regional greenway system.

#### 2. Objectives

- Create open spaces within the neighborhood that serve as a community gathering space for local residents.
- Maintain a variety of parks that offer a range of facilities in sufficient quantity for the growing community.
- Preserve and maintain the existing unique natural features on the site.
- Conserve open space, including those areas containing unique and sensitive natural features such as woodlands, steep slopes, streams, floodplains and wetlands, by setting them aside for stormwater development.
- Extend regional greenway trails throughout Jerome Village and provide local trail connections to neighborhoods, parks and the town center.
- Reduce erosion and sedimentation by preserving existing vegetation and prohibiting development on steep slopes.
- Allow for drainage, access and utility easements where necessary.

## II. Development Objectives

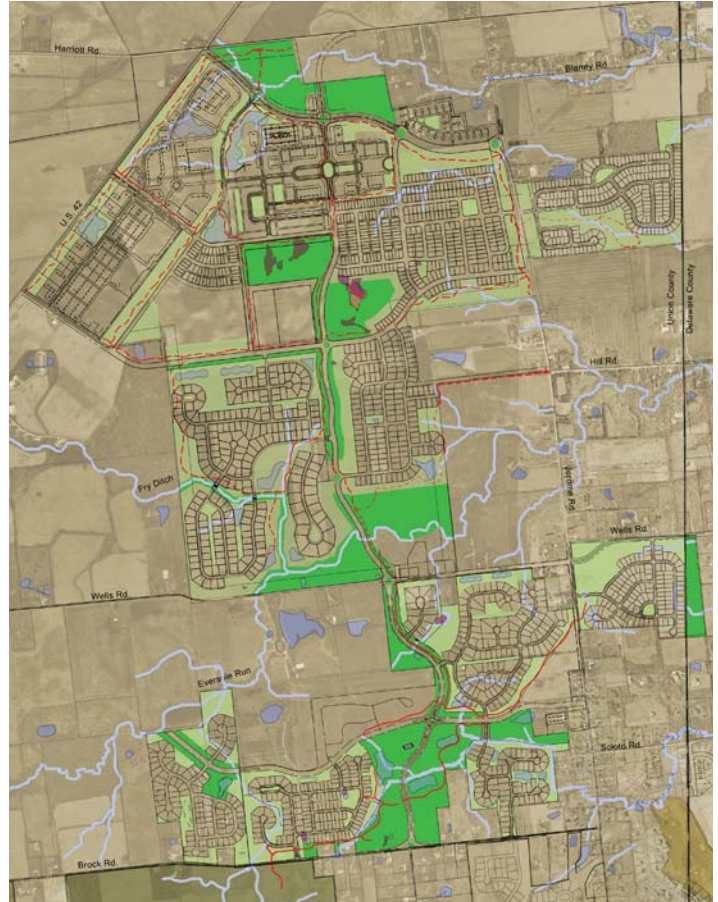
- Create neighborhoods with direct visual access to open space, amenities in the form of neighborhood open space and a strong neighborhood identity.
- Conserve scenic views and elements of the township's rural character by protecting viewsheds by minimizing views of new development from existing roads.
- Create buffers to separate uses and screen high traffic areas.

### 3. Common Open Space And Parkland

Jerome Village will be intertwined with an extensive open space network. The open space will be comprised of bio-swale corridors, preserves, community parks, and neighborhood parks. The allocation of open space throughout the community will establish an underlying fabric that will connect Neighborhoods and their sub areas together with one another and create a corridor to Glacier Ridge Metro Park. The area's rural integrity will be preserved by limiting development to only certain areas of the project. The open spaces will help to preserve unique features of the Village, while creating opportunities for user recreation. Jerome Village will maintain approximately 40% of its gross acreage in open space. The following is a description of the different kinds of open space planned for Jerome Village. All neighborhoods are required to connect into the open space trail network.

### 4. Open Space / Preservation

Jerome Village shall include open space that will serve as a means of preservation of local vegetation and wildlife habitat. Preservation areas will include the Blue Heron rookery, natural drainageways and creeks, ponds, forest and woods, grassland, wetland, areas of particularly unique topographic features, or other unique opportunities. Hunting will not be allowed in any area of Jerome Village. Preserves (platted Open Space) shall include utilities easements,



Open Space Concept Plan

stormwater easements, setbacks from existing roads, pedestrian and bike paths, boardwalks, or an appropriate combination thereof. The network of paths and trails shall connect to sidewalks and other circulation networks of adjoining neighborhoods, their subareas, and streets where appropriate. Surrounding neighborhoods are encouraged to take advantage of extended views into the preservation areas. Location, layout, connections, and design of the preservation areas will be evaluated by the DRB.

### 5. Community Parks / Facilities

Three Community Parks shall be provided for the common use of all of Jerome Village and Jerome Township residents. Community parks are intended to be used for active recreation and

## II. Development Objectives

provide large-use facilities and amenities that seek to serve the entire community. Community parks shall be designed to accommodate ADA standards at each type of facility (public restrooms, parking and pedestrian pathways).

Jerome Fields shall be located north of the Town Center. This park shall include active recreation amenities such as: tennis courts, combination baseball / softball fields, combination soccer / football and/or lacrosse fields. The park shall include public parking areas.

Jerome Community Center shall serve as an active / passive recreational facility. Amenities to this park include an all purpose building and pool. Public parking will be provided at the community center.

Founder's Park shall be an all purpose passive recreation facility that meanders through the community's open spaces. This park shall include such amenities as natural landscaping, trails, ponds and pastured open areas. In addition, the southern portion of the park will link to the Jerome Village Welcome center, commuter parking at various locations include trail heads at the schools, local churches and other points of interest.

All of the above mentioned parks and the community open space will be owned and maintained by the Community Development Authority and subject to design approval by the DRB. The landscape palette and standards for the parks can be found in the Property Code requirements for the individual neighborhoods.

Neighborhood Parks shall be included as an amenity to many of the sub areas within Jerome Village. Builders/Developers shall be required to include both passive open space and programed neighborhood parks with in the required open space determined on the final plat. Open Space may be comprised of open lawn, wooded preserve, wetland, or stormwater

management. Minimum program elements for the neighborhood parks shall be street trees, benches, sidewalks and/or bike paths, and planting beds. Amenities should be designed within an appropriate scale to each individual park. The landscape palette and standards for the neighborhood parks can be found in the Property Code requirements for the individual neighborhoods. Amenities will be evaluated by the DRB as part of the design review for the sub area. The neighborhood parks shall be funded by the developer, owned by the Community Development Authority, maintained by the HOA and subject to design approval by the DRB.

See Preliminary/Final Plat or Sub Area Land Use Plan for all open space quantity requirements.

## II. Development Objectives

### F. Jerome Village Public Uses

#### 1. Public Building/Facilities

Within the Glacier Park Neighborhood of Jerome Village, a community center with a small meeting space will be located adjacent to an existing lake and the Hyland-Croy extension. The marketing center will ultimately become the designated office of the Community Authority near the completion of the project.

A Community Recreation Center facility will be located within the Village Neighborhood to the north, adjacent to the new elementary school. Both facilities will share parking. This facility will contain space for a community recreation center, swimming pool and other community amenities.

Two additional sites will be reserved for community buildings within Jerome Town Center: One for a civic function and the other for a joint Township fire station and County sheriff substation.

School Sites: Two school sites within the Dublin School District have been located within Jerome Village. Thirteen acres have been identified along Jerome Road within the Glacier Park Neighborhood consisting of a proposed Dublin elementary school. Within the Village Neighborhood, a proposed Dublin elementary and middle school will consist of thirty-nine acres.

### G. NAHB Green Home Building Guidelines

These model green home building guidelines consist of a variety of distinct line items that a builder can choose from in creating a green home. These line items have been grouped into eight overarching guiding principles:

- Lot Design, Preparation & Development

- Resource Efficiency
- Energy Efficiency
- Water Efficiency
- Indoor Environmental Quality
- Operation, Maintenance, and Homeowner
- Global Impact
- Site Planning and Land Development

The NAHB Green Home Building Guidelines are organized by the guiding principles listed above. However, there are two underlying ideas that all should keep in mind before undertaking a green home project.

First, environmental considerations should be incorporated into the project from the very beginning. Second, the house should be looked at as a whole as the builder determines which of the Green Home Building Guidelines to incorporate into the house. The goal for Jerome Village is that all homes achieve at least a “Bronze” rating as designated by the NAHB Green Home Building Guidelines.

### H. Preservation of Wooded Areas

It is encouraged that efforts be made to preserve any vegetation existing on site. Layout for development, roads, lots, structures, etc. shall take every precaution to avoid unnecessary destruction of wooded areas or specimen trees.

#### Requirements:

- A. Trees 12 inches and greater shall be surveyed and require approval prior to removal.
- B. Tree protection fence shall be used around all remaining trees using the drip line as a minimum distance.



## II. Development Objectives

C. Tree banks will be created to accommodate any required tree replacement that will not fit within the development pod areas. See the Trails and Open Space Plan for tree bank locations.

1. Only Jerome Village identity signage at the main entry points in Jerome Village is permitted.
2. Identity signage into each sub area/pod is not permitted.
3. Individual developer marketing signage is not permitted within 1,000 feet of the development. Marketing signage by individual developers will be subject to approval by the master developer.
4. Traffic Control Signs (subject to County Engineer Approval). Located and sized per the County Engineer. Poles, extension arms, and bases shall be historic in character and match the design quality of street lights within the neighborhood. Where possible, a single pole and extension arm shall be utilized from one corner of the intersection to be signaled, and be designed to carry two four-way signal lights.

### I. General Lighting, Signage And Furniture Standards

#### A. Site lighting and signage standards

1. Lighting within the Glacier Park Neighborhood shall be designed as an aesthetic feature and provide continuity within all Jerome Village neighborhoods.
2. Single family building may have either a pedestrian scale lamp post located between the front porch of the building and the street R.O.W. Fixtures shall be appropriate in scale and character to the architectural style of the buildings. Additional lighting such as back porch, deck, or yard lighting, landscape walk lighting are permitted provided that the foot-candle level does not exceed .1 foot candles at the property line, and .5 foot candles at any setback line.
3. External lighting within all sub areas shall be full cut-off type fixtures. No light spillage off the site shall be allowed. All lighting shall be arranged to reflect light away from any street or adjacent property.
4. All types of parking, pedestrian and other lighting shall be on poles or wall mounted full cut-off type fixtures and shall be from the same type and style as defined in the Development Standards Lighting Manual and approved by the DRB.
5. All lighting shall be uniform in color.

#### B. Site Signage

#### C. Common Area Site Furniture Standards

1. Furnishings shall be metal, pressure treated wood, or an appropriate combination thereof, primed and painted or similar treatment, flat black.
2. Furnishings shall be reviewed and approved by the DRB.

### J. Miscellaneous Site Development Standards

**1. Project Maintenance & Vacant Sites:** Property upkeep: The developer/property owner is responsible for all maintenance and vacant property upkeep. Vacant lots are, at a minimum, to be seeded lawn and mowed.

#### **2. Property Upkeep:**

## II. Development Objectives

A. Maintenance - The owner of the premises shall be responsible for the maintenance, repair and replacement of all landscaping materials, site amenities, structures, plants, and trees in accordance with these design guidelines. All landscape materials shall be maintained in a healthy, neat appearance. All plant material shall be kept free of debris and refuse. If lawn, plan or tree dies, it is the responsibility of the property owner to replace the material immediately. All hardscape and irrigation equipment shall be maintained in good condition.

B. Irrigation - The use of in-ground sprinkler systems will be recommended. See LEED-ND Section WE Credit 1.1-3.2 for alternative LID options for irrigation.

### III. Design Standards

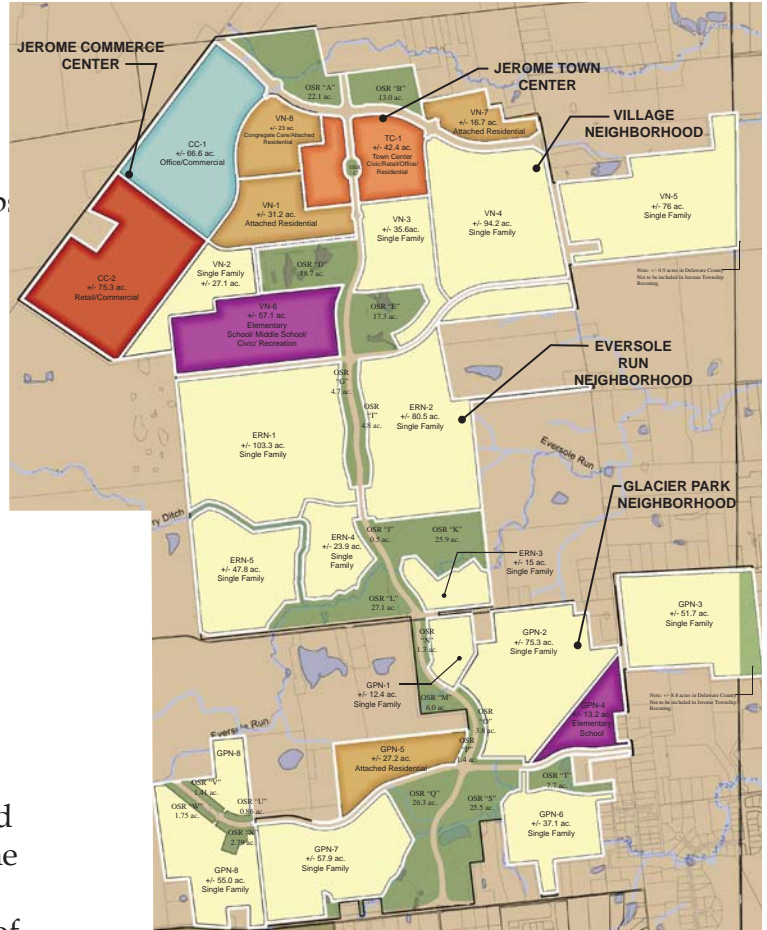
#### A. Introduction and Design Intent

The intent for Jerome Village is to create a community that maintains a small town character, protects scenic and natural resources, provides for ample public facilities, and develops in an orderly and consistent manner. To help accomplish this goal the development is broken down into a series of neighborhoods that have a mixture of housing styles and are designed with sensitivity to the existing environment. Each of the residential development areas will create its own unique neighborhood with parks for the local residents. Each neighborhood will include a mix of mid and high value housing types that may include single family, cluster and condominium units. A public open space that threads throughout the development will have a series of trails connecting all of the neighborhoods to Glacier Ridge Metro Park.

The first phase is the Glacier Park Neighborhood which is located just north of Brock Road and the Glacier Ridge Metro Park. The second phase is the Eversole Run Neighborhood, located north of Wells Road and the Glacier Park Neighborhood. The next phase is the Village Neighborhood, located north of Eversole Run.

The goals of the Jerome Village Neighborhoods are to:

- Create gateways and strong sense of place arriving into Jerome Village.
- Provide a variety of housing types to meet the needs of individuals and families in various stages of life.
- Use quality design and building materials that stand the test of time.
- Provide a sustainable residential development pattern for future generations.



Sub Area Location Plan

### III. Design Standards

- Utilize architectural styles based upon turn -of-the-century, prewar, traditional examples with regional historic influences.
- Create a pedestrian-friendly and aesthetically pleasing community providing human scale development features and creating connections between people, open spaces, and neighborhoods.
- Provide connections to Glacier Ridge Metro Park.
- Maintain vehicular links and pedestrian connectivity to allow many choices of movement and reduced dependence on the automobile.
- Provide a community recreation center that builds on local heritage and provides a gathering space for social interaction.
- Provide for development of neighborhoods with attractive, well-connected streets, sidewalks, and trails that enable convenient, direct access to neighborhood centers and parks.
- Preserve the existing character of the area by using large setbacks and preserving existing trees and open space.
- Protect the existing drainage corridors, wooded areas and other natural features.
- Encourage an environmental focus using such elements as porous paving, gray water recycling, low impact design stormwater management, green building techniques and preserving open space, natural beauty, and critical environments.
- Provide a needed elementary school and middle school sites for the Dublin School system within walking distance to a large population of residents.
- The school sites shall be held to the same quality and architectural standard, and design character as the adjacent residential neighborhoods.

The Jerome Village Property Code will establish a standard of excellence that will meet and exceed the expectations of Jerome Township. The purpose of this document is to provide a framework for the development of the site that will protect the rural agricultural heritage of the area. Through the creation of standards for the location of structures, building architecture, streetscape and an architectural review process, the development will reflect the nature of a well planned community, and establish a benchmark for quality development that serves the economy, community, and environment.

## III. Design Standards

**B. SINGLE FAMILY LOT DEVELOPMENT STANDARDS****1. Single Family Lot Development Matrix**

		LOT SIZE <sup>1</sup> (Minimum Depth - 120')				
		55'-65'	66'-79'	80'-89'	90'-99'	100'+
	Front Setback <sup>2</sup>	20 feet	66'-69' Lot: 20 feet 70'-79' Lot: 25 feet	25 feet	25 feet	25 feet
	Side Setback <sup>3</sup>	5 feet	5 feet	6 feet	8 feet	10 feet
	Rear Setback	30 feet	30 feet	30 feet	30 feet	30 feet
	Ranch-Min. Bldg. SF	1,500 sq. ft.	1,800 sq. ft.	1,800 sq. ft.	2,500 sq. ft.	3,800 sq. ft.
	2 Story-Min. Bldg. SF	1,800 sq. ft.	2,100 sq. ft.	2,300 sq. ft.	2,800 sq. ft.	4,000 sq. ft.
	Ranch-Max. Bldg. SF	3,000 sq. ft.	4,000 sq. ft.	4,000 sq. ft.	5,000 sq. ft.	Subject to Setbacks
	2 -3 Story-Max. Bldg. SF <sup>4</sup>	3,000 sq. ft.	4,000 sq. ft.	4,000 sq. ft.	5,000 sq. ft.	Subject to Setbacks
Garage	Max. Garage Frontage	Not to exceed 50% of Total Building Frontage				
	Garage Door Max. Width	9' for front-loaded garages 16' for side-loaded garages				
	Cars Min/Max <sup>5</sup>	2 / 2	2 / 3	2 / 3	2 / 3	2 / 3
	Front Setback	See garage setback standards				
	Side Driveway Setback	2 feet	2 feet	2 feet	2 feet	2 feet
	Rear Driveway Setback	30 feet	30 feet	30 feet	30 feet	30 feet
	Architectural Styles	See Architectural Pattern Book				
	Diversity	See Architecture Diversity Standards				

**\*The maximum lot coverage ratio shall be no greater than 40% and drives, walkways, swimming pools, porches, decks and patios (with or without a roof) shall not be considered in determining lot coverage.**

1. Corner Lots will be reviewed against the above standards based on lot width minus 10 ft.
2. Corner Lots apply front setback lines to both street frontages.
3. Side setbacks are required to be approximately equal excluding easements.
4. Homes greater than 2 stories or 45 ft require DRB approval. Note on application.
5. 4-car garages are permitted on 100' lots or greater with DRB approval.

Corner lots will be held to a higher architectural standard by the DRB.

Architectural detailing and element requirements may be reduced by the DRB due to close proximity of the houses.

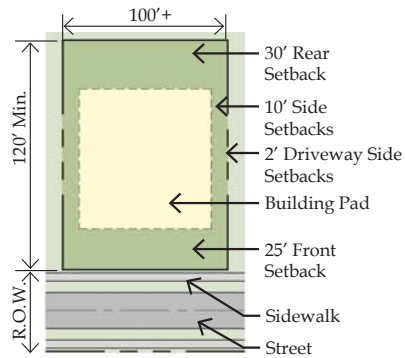
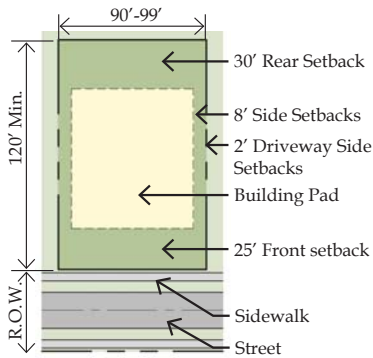
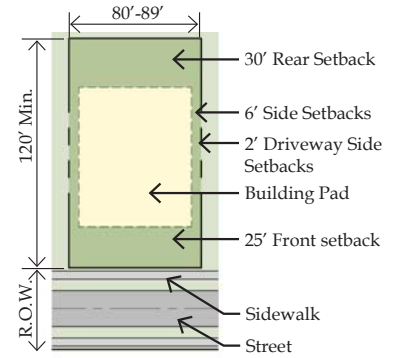
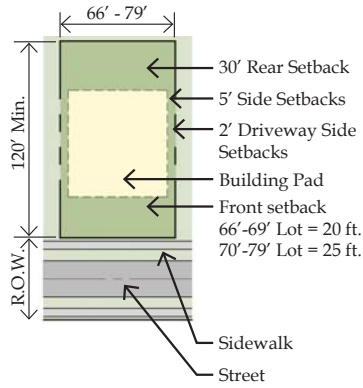
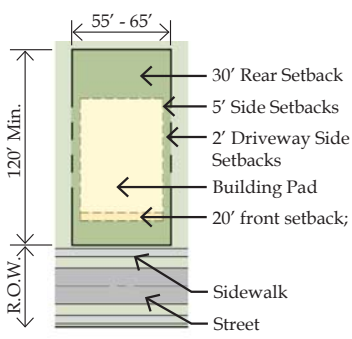
Orientation of homes on lots on cul-de-sac streets is subject to DRB approval.

Please note specific neighborhoods may have a variance to these standards.

III. Design Standards

2. Single Family Building Placement and Orientation

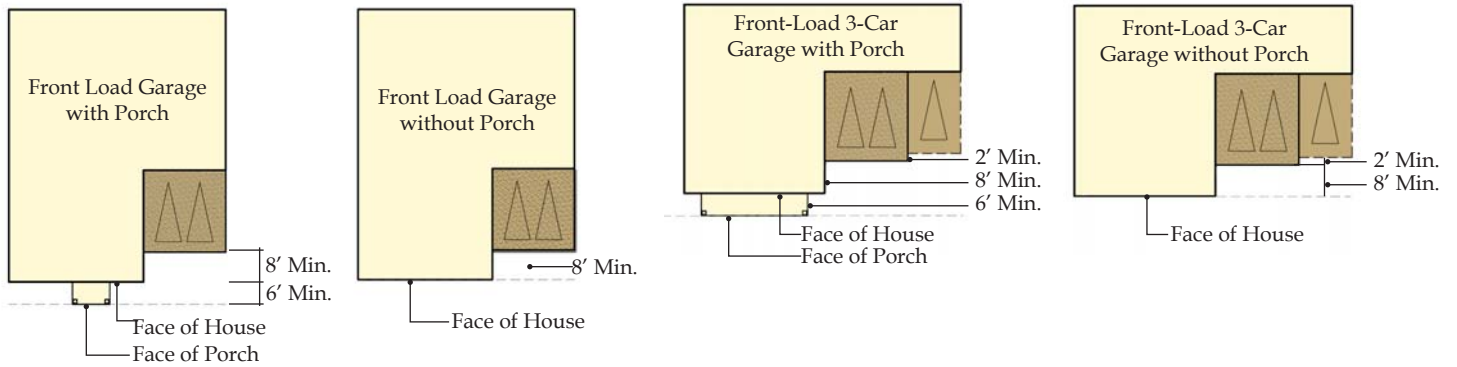
Lot Development Standards: Examples



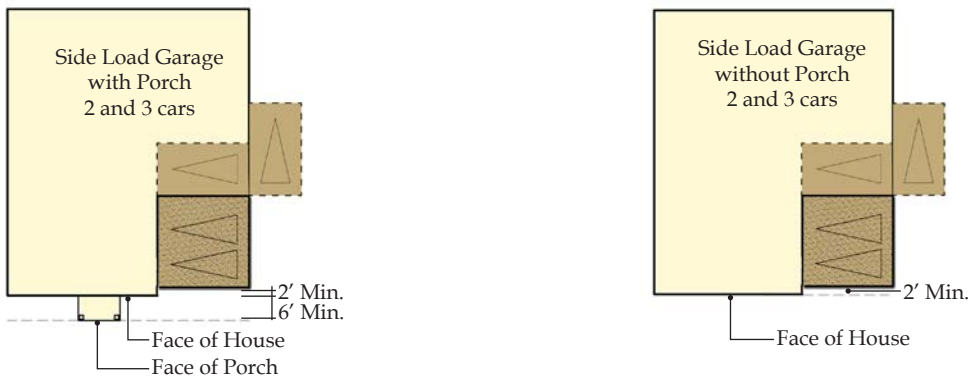
### III. Design Standards

#### 3. Garage Setback Standards

##### FRONT LOADED GARAGE



##### SIDE LOADED GARAGE



### III. Design Standards

#### 4. Single Family Architecture Requirements

All homes should follow traditional historic examples as outlined in the Jerome Village Pattern Book. Style and character can follow historic examples without being literal duplications, applied in a Neo-traditional manner. Diversity of architectural styles is encouraged in order to provide visual interest and distinctive character through out Jerome Village. The following matrix outlines architectural requirements that must be incorporated into all home designs and subject to DRB approval. All four elevations should meet the same level of design, including use of water tables, trim, and materials.

	Configuration	Materials	Technique & Colors
<b>Building Walls and Elements</b>	<ul style="list-style-type: none"> <li>Walls must consist of natural or natural appearing materials.</li> <li>Glass openings should be between 15% - 50% of the entire wall.</li> <li>Siding should be traditional profiles such as 4"-8" horizontal beveled.</li> <li>Brick shall be laid in a traditional masonry pattern.</li> <li>Stone should be laid in a random ashlar pattern.</li> <li>Brick or stone facing on the full front of home is required to also be on the side elevations or terminate at an appropriate location.</li> <li>Building elements should be based on traditional historic examples. Refer to the Pattern Book.</li> <li>Blank or empty side elevations are not permitted.</li> <li>Exposed concrete or block foundations shall not be permitted. Visible foundations shall be finished with veneer, brick, or stone. Paint shall not be an acceptable finish. Another style appropriate material may be used with DRB approval.</li> <li>Decks, patios, and exit stairs must be submitted for DRB approval, with materials noted.</li> </ul>	<ul style="list-style-type: none"> <li>Brick shall be earth tone colors in standard sizes.</li> <li>Stone shall be natural or simulated material.</li> <li>Precast concrete with the appearance of traditional limestone.</li> <li>Stucco and EIFS shall be used only in moderation and not permitted on the ground level. Stucco and EIFS must be detailed to look like traditional cornices, soffits, etc. Stucco is only permitted as a primary building material on Italianate style homes and requires DRB approval.</li> <li>Siding shall be wood or simulated wood (no vinyl permitted).</li> <li>Columns, cornices, and similar elements should be of natural materials or simulated natural materials, such as wood, brick or stone.</li> </ul>	<ul style="list-style-type: none"> <li>Brick may have the appearance of painted or "washed" if in context with the architectural theme being portrayed and only in limited situations.</li> <li>Wall colors should be appropriate to the architectural style of the home. Diversity of color is encouraged throughout the development. High chroma, bright colors should be avoided.</li> <li>Homes with brick or stone on the front elevation shall include a matching brick or stone plinth on side elevations with a minimum height of 24 inches.</li> <li>Exposed PVC is required to be painted to match the color of adjacent materials and finishes.</li> </ul>



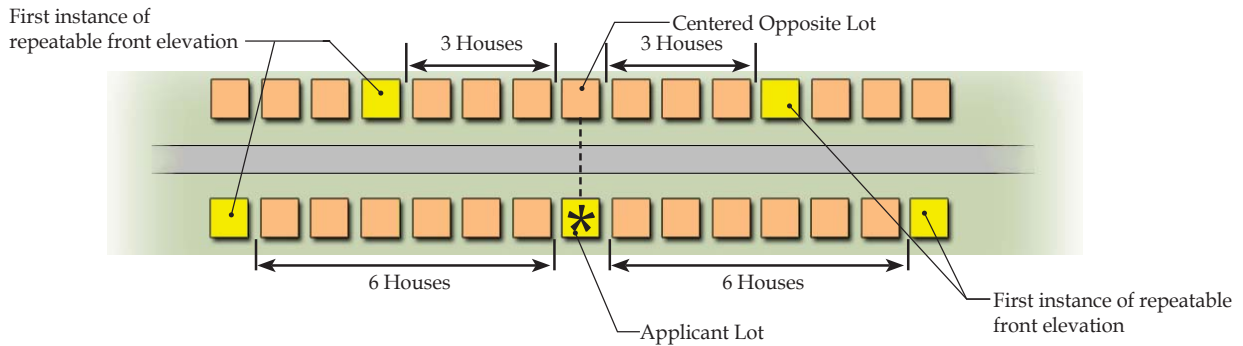
## III. Design Standards

	<b>Configuration</b>	<b>Materials</b>	<b>Technique &amp; Colors</b>
<b>Windows, Garages &amp; Doors</b>	<ul style="list-style-type: none"> <li>All windows and doors are required to have trim, with the exception of facades composed of masonry.</li> <li>Style appropriate carriage doors are required on all front and side loaded garages. All carriage doors require glazing and style appropriate details.</li> </ul>	<ul style="list-style-type: none"> <li>Glazing, wood trim, wood grids. Wood with aluminum or vinyl clad are acceptable.</li> <li>Glass shall be clear. Windows only on garage doors or into bathrooms may be clear, frosted, tinted, or stained glass.</li> <li>Front doors shall be of a style appropriate to the style of the house.</li> <li>Garage doors may be natural or synthetic materials with natural appearance.</li> </ul>	<ul style="list-style-type: none"> <li>All windows require grids. Grids shall be applied to the exterior and interior of all windows.</li> <li>Grids and windows shall be appropriate in style to the house.</li> </ul>
<b>Roofs &amp; Fireplaces</b>	<ul style="list-style-type: none"> <li>Sloped roof are required on all homes.</li> <li>Pitched roofs shall have 8" overhangs, or as appropriate for the style of the house.</li> <li>Direct vent fireplace is required to be screened with landscaping at the bottom.</li> <li>Doghouse and cantilevered chimneys shall be prohibited. Direct vent fireplaces may not be doghouse or cantilevered.</li> </ul>	<ul style="list-style-type: none"> <li>Natural or simulated slate or tile.</li> <li>Dimensional shingles (30 year).</li> <li>Wood shakes.</li> <li>Copper.</li> <li>Single-ply membrane roofs allowed when hidden from public view.</li> <li>Painted metal.</li> </ul>	<ul style="list-style-type: none"> <li>Use of cornice lines are encouraged.</li> <li>Bright colored roofs are not allowed.</li> </ul>
<b>Lighting</b>	<ul style="list-style-type: none"> <li>All lighting is to be directed downward.</li> </ul>	<ul style="list-style-type: none"> <li>Antiqued and painted materials including brass, steel, aluminum and copper are acceptable.</li> <li>Fixtures with exposed bulbs are not permitted.</li> </ul>	<ul style="list-style-type: none"> <li>Lighting should display a uniform, comfortable and warm appearance.</li> </ul>

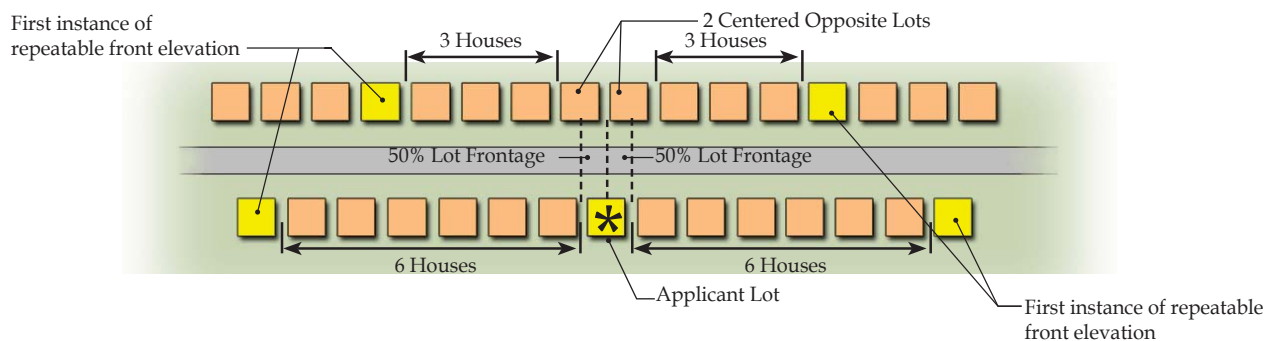
### III. Design Standards

#### 5. Architecture Diversity Standards

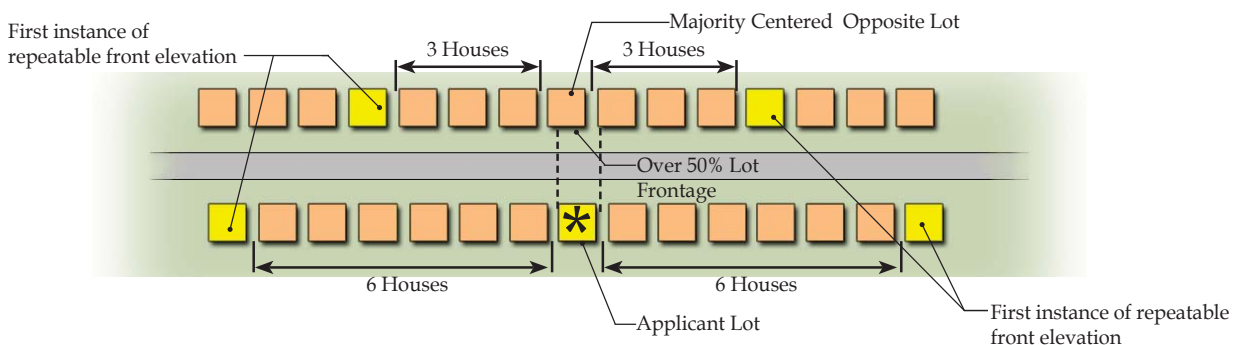
- Diversity of Lot Size is encouraged.
- Standard applies to both streets of a corner lot.



A house with the same or similar front elevation shall not be repeated within 6 houses on the same side of the street and within 3 houses each direction of the immediately opposite house on the opposite side of the street. This standard shall be applied where blocks are divided by cross streets.



Where the opposite lots are staggered and split the applicant lot equally, a house with the same or similar front elevation shall not be repeated within 6 houses on the same side of the street and 3 houses each direction of both immediately opposite houses on the opposite side of the street. This standard shall be applied where blocks are divided by cross streets.

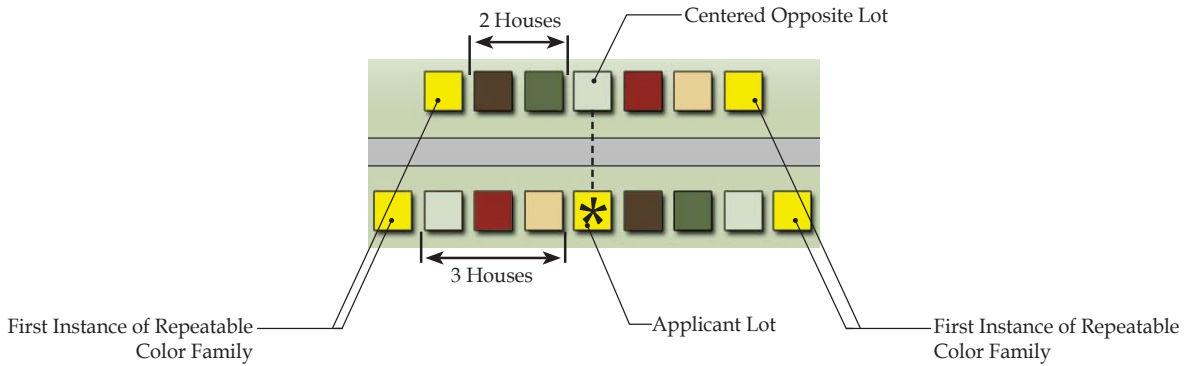


Where the opposite lots are staggered and split the applicant lot unequally, the opposite house will be determined as the house with the most immediately opposite lot frontage. A house with the same or similar front elevation shall not be repeated within 3 houses on the same side of the street and 3 houses each direction of the determined majority opposite house on the opposite side of the street. This standard shall be applied where blocks are divided by cross streets.

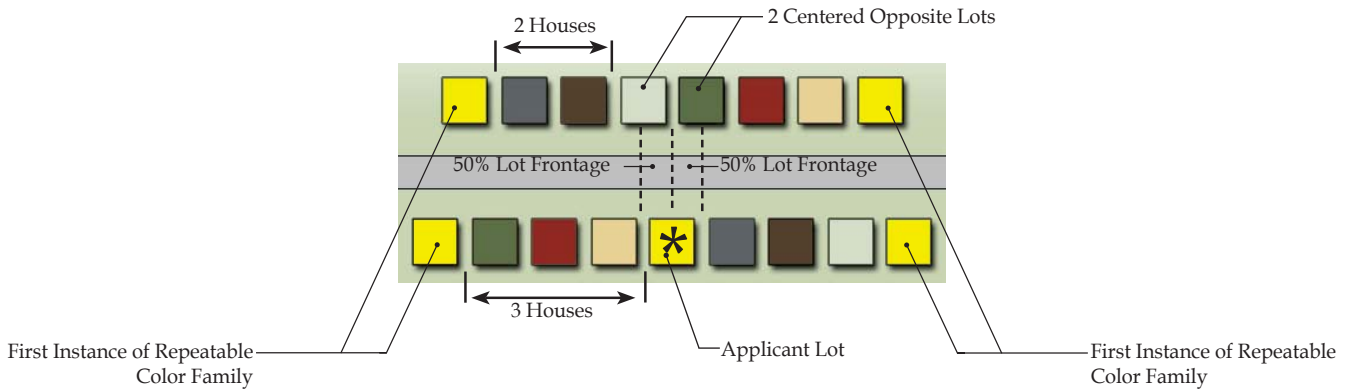
### III. Design Standards

#### 6. Color Diversity Standards

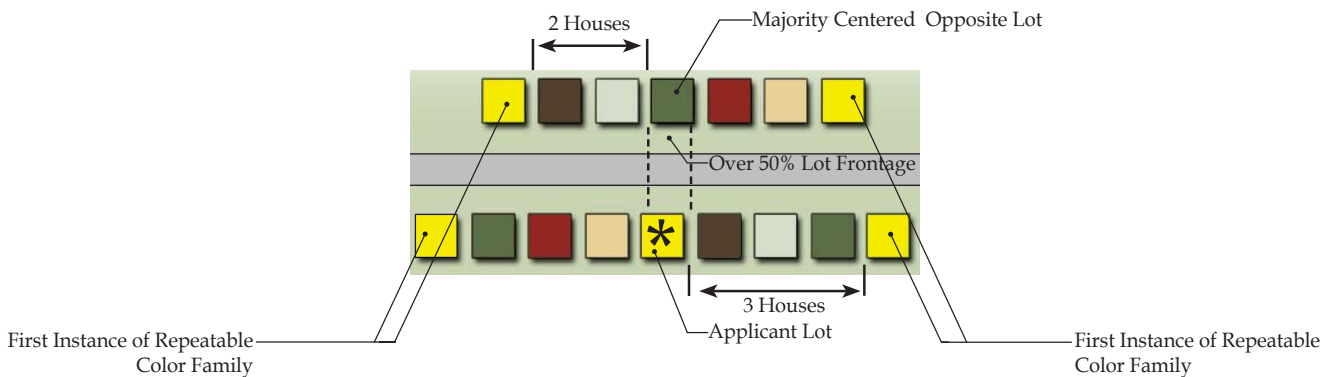
- Standard applies to both streets of a corner lot.



A color family shall not be repeated within 3 houses on the same side of the street and within 2 houses each direction of the immediately opposite house on the opposite side of the street. This standard shall be applied where blocks are divided by cross streets.



Where the opposite lots are staggered and split the applicant lot equally, a color family shall not be repeated within 3 houses on the same side of the street and 2 houses each direction of both immediately opposite houses on the opposite side of the street. This standard shall be applied where blocks are divided by cross streets.



Where the opposite lots are staggered and split the applicant lot unequally, the opposite house will be determined as the house with the most immediately opposite lot frontage. A color family shall not be repeated within 3 houses on the same side of the street and 2 houses each direction of the determined majority opposite house on the opposite side of the street. This standard shall be applied where blocks are divide by cross streets.

### III. Design Standards

#### 7. Color Families

When a proposed home is submitted for design review, its proposed color shall be placed in an appropriate color family. The color families shall be used in comparisons to the diversity standards.

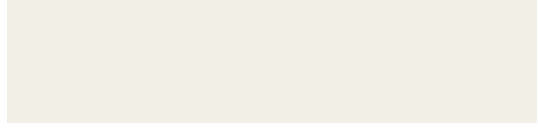
1. Neutrals 1 (Taupe, Tan, Beige):

example: SW6142 Macademia



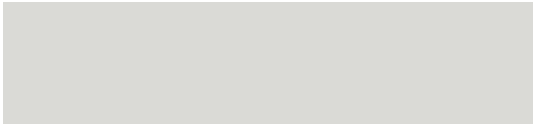
2. Whites and Off-Whites:

example: SW7008 Alabaster



3. Light Gray:

example: SW7064 Passive



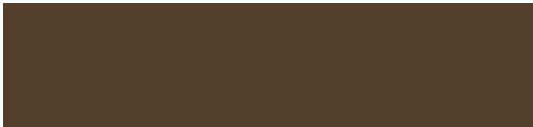
4. Dark Gray:

example: SW7075 Web Gray



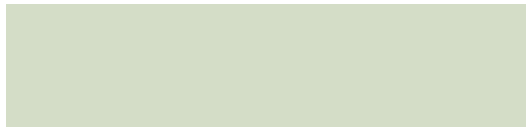
5. Brown (Mahogany, Bronze):

example: SW6083 Sable



6. Light Green (Sage):

example: SW2852 Plymouth Green



7. Dark Green (Hunter):

example: SW6439 greenfield



8. Light Blue (Blue-Gray):

example: SW6227 Meditative



9. Dark Blue:

example: SW6510 Loyal Blue



10. Yellow:

example: SW 2857 Peace Yellow

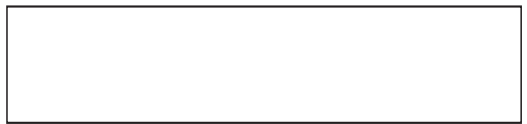


11. Reds:

example: SW7600 Bolero



12. Miscellaneous



JEROME VILLAGE

The Jerome Village  
Property Code

APPENDIX

## **I. Landscape Design Standards**

### **A. Residential Neighborhood Landscape Standards**

Design Intent: Purpose and design intent of this subchapter is to outline design quality parameters for the residential sub areas throughout Jerome Village, as well as promote the preservation and replacement of trees removed through development. These guidelines are provided as recommendations for various site conditions and design elements. The following matrix identifies the specific minimum site design and landscaping requirements. All site layouts and planting plans and shall be subject to design review and approval by the DRB prior to any site work or installation. Landscape plans must be submitted indicating landscaping for the entire lot, including required landscaping, utility screening, and intended outdoor living areas such as patios or decks and play equipment. As a guide, landscape plans should be designed with a value of approximately 1.5%-2% of the total expected value of the home and lot, exclusive of seed/ sod, and irrigation systems.

## **II. Single Family Landscape Standards: Lot Landscape and Hardscape Guidelines:**

### **A. Tree Lawn**

1. Street Trees shall be centered between the back of curb and edge of sidewalk and spaced no further apart than 40 feet on center.
2. Street trees shall be initially installed by the developer. Street trees that need to be replaced will be removed and installed by the developer with the same species.
3. On all lots, the developer shall determine the placement and quantity of street trees to be installed.

4. DRB will determine the specific species of trees to be placed on each street and the species will vary across the community to maintain diversity and to avoid disease.
5. Timing of the install of the street trees will be determined by the DRB.

### **B. Existing Trees**

1. No existing trees shall be removed from a property without the prior written approval of the DRB.

### **C. Public Sidewalk Edge**

1. Sidewalks are required along all public streets and shall be concrete or brick.
2. Each sub area shall have a minimum 4 foot perimeter concrete sidewalk connecting crosswalks and adjacent path systems wherever bike paths are not present.
3. Each sub area shall provide well distributed access points to the open space trail system that specifically tie into the sub area's pedestrian circulation. Access points should be designed to align with as direct a route as possible from neighborhood parks to the open space.

4. All concrete sidewalks shall be per ODOT item 608, 4" thick (6" thick at driveway locations), light broom finish perpendicular to direction of pedestrian travel, hand-tooled joint every 5 feet (3" tool), hand-tooled edges (3" tool), and expansion joints every fifth block (25 feet).

### **D. Walls**

1. Retaining walls and Freestanding Walls are permitted. Walls shall be indicated on landscape plans and shall indicate spot elevations at base, top-of-wall, top-of-piers, and indicate materials and colors.

## Appendix A

2. Any wall proposed to edge a public sidewalk and 2 feet in height or taller shall have an 18 inch to 2 foot depth planting strip between the base of the wall and the edge of the sidewalk, and shall be planted with low growing annuals and/or perennials or small shrubs.
  3. Walls shall be decoratively finished with natural materials that compliment the building architecture. Use of caps, finials, watercourses, and decorative masonry techniques is encouraged.
  4. No wall shall be taller than 4 feet. Taller changes in grade should be terraced.
  5. Decorative fencing may be included on top of any wall. Their combined height shall not exceed 4 feet.
  6. Walls may include piers, which shall be limited to 4 feet in height.
2. Decorative fencing may be permitted, with DRB approval, to highlight aspects of the home and landscape.
    - a. Wrought iron fencing may be used as decorative, auto-court, or pool enclosure fencing. Wrought iron fencing shall NOT be permitted to enclose the perimeter of the property. Pool enclosure fencing shall be limited to the pool and related deck area.
    - b. Fences should be used in combination with hedges, ornamental grasses, accent planting and brick or stone piers.
    - c. Fences shall be limited to 4 feet in height or less and shall be built of natural materials, such as wood or wrought iron. In front yards, fences shall be limited to 3 feet in height.
    - d. Chain link fencing shall be prohibited.
    - e. Finished face of any fence shall be on the outside of the applicant lot

### **E. Graded 2:1 Slope Against Public Sidewalk**

1. On lots where a significant change of grade occurs from the public sidewalk to the front of the house, a 2:1 slope against the sidewalk may be used to establish a more level front yard at a higher elevation than the walk. Free standing mounding is prohibited.
  2. Slope shall be planted with at least lawn and may be used in combination with a planting bed or hedge.
3. Pet enclosures:
    - a. The community strongly recommends the use of electric underground containment options.
  4. All other fencing must meet with approval of the DRB.

### **F. Fencing**

1. Fencing shall NOT be permitted to enclose the perimeter of the property. Fencing should be used to enclose limited areas of patio, deck, small yard spaces, and pools near the home, and should serve as an extension of the architecture.
1. Mailboxes must be standard black mail box located on a 4 x 4 post with a double notch feature at the top with 4" silver reflective house numbers running vertically up both sides of the post. Post is to have a stained black finish and is required to be placed within a 6" black aluminum wrap to protect the bottom of the post from mowing. See Appendix B for additional details regarding mail box design details.

**H. Hedges**

1. Hedges shall be deciduous, evergreen, or combination thereof. Perennials and ornamental grasses shall not be permitted for use as screen hedges.
2. Hedges should be maintained at 3 to 4 feet in height.

**I. Driveway**

1. Driveways shall be asphalt, concrete, or brick pavers. The use of permeable pavements, such as pavers, tire strips in lieu of fully paved driveways, or permeable concrete is highly encouraged.
2. Driveways shall be no wider than 16 feet at the R.O.W. line.
3. Sidewalk pavement and cross slopes shall take precedent over those of driveways where the two cross.
4. Driveway aprons shall be concrete and include a 2'-6" flare.
5. Auto-courts of side-loaded garages shall be screened from the street and from adjoining lots with a 4 foot screen consisting of hedge, plantings, decorative fences, or walls. Screen shall be complimentary with building architecture and materials, lot plant palette and design style.
6. Auto-courts should include decorative paving features such as paver patterns, banding, edging, cobblestone paving, etc. The use of natural materials is encouraged.
7. Rain gardens should be designed to accept runoff from driveway and auto-court areas.
8. Basketball hoops may be permitted with DRB approval.

**J. Foundation Plantings & Front Yard Interior**

1. See Landscape Requirement Matrix based on lot size for requirements.
2. Required planting beds must be raised a minimum of 6" from adjacent finish grade. The use of edging materials consistent with materials used on the home are encouraged.
3. Plantings shall be designed with a diverse plant palette consisting of an appropriate mix of deciduous and evergreen material made up of ground cover, perennials, and shrubs, and should be selected so as not to over-grow their intended locations and heights.
4. Landscaping shall convey a consistent style or appearance and should be complimentary with the home's architecture. Plantings should be arranged with respect to the architectural features of the house, and should not obscure or hide the house.
5. Plantings shall be designed to primarily accent the front entry of the house, porch, and any sidewalk connecting the house to the public sidewalk.
6. Plantings shall be designed to secondarily transition the space of the front porch and the materials of the house into the front yard and streetscape.
7. Corner lots, lots adjoining common open space, and lots that terminate streets or prominent vistas will be held to a higher standard of design and may be required to provide additional landscaping to meet DRB approval.
8. Front yards may be planted with combinations of lawn, ground cover, perennials, small and large shrubs, and small ornamental trees.



## Appendix A

9. Use of irrigation is encouraged, especially when coordinated with the use of rain barrels.
10. All utility structures shall be located in side or rear yards and shall be screened (See "Side Yards" below). In order to coordinate with certain utility needs, the DRB may selectively permit utility structures in front yards. The applicant shall screen any utility structure within the front yard with a combination of evergreen and deciduous shrubs to the approval of the DRB.
2. Any rear yard visible from a street, common area, or prominent view or vista shall provide a site plan and design details indicating outdoor living areas (such as patios, decks, or stairs). Designs must be appropriate to the architectural style of the house. Plans and details must indicate materials, colors, any additional foundation landscaping, and screening as appropriate.
3. Pools shall be permitted in rear yards only. All pool equipment shall be screened with respect to adjoining properties and common open space.

**K. Side Yards**

1. See Landscape Requirement Matrix for requirements.
2. All utility meters, air conditioning equipment, exhaust pipes, generators, valve covers, irrigation equipment, and other service structures, and architectural bump-outs shall be located to the side or rear of the building, and any structure located on the side shall be completely screened from view from any street. Screen materials may include evergreen shrubs, a mix of evergreen and deciduous shrubs, decorative fences, or walls. All materials shall be consistent with the home's architecture. All utilities shall be screened with intermediate sized shrubs, and shall reach a mature height that at minimum matches the height of the item being screened. Intended utility locations must be indicated on the plans and building elevations. Above ground utility lines, conduit, vents or risers, and any exposed pvc shall be painted to match the color of the adjoining house surface.
4. All recreation/play equipment shall be permitted in rear yards only and shall not encroach into sideyard building setbacks, unless noted otherwise in this text. Play set structures shall be wood; plastic structures shall not be permitted. Play sets shall be screened with respect to adjoining properties and common open space, if located near the perimeter of the lot. Screen plants shall meet the height of the play set or 6 ft, whichever is less.
5. Compost piles shall be permitted in rear yards only and shall be contained and screened with respect to adjoining properties and common open space.

**M. Plant Material****L. Rear Yards**

1. Privacy screening shall only consist of landscaping. Fences or walls shall not be permitted except as defined above in "Fencing".
1. See Landscape Requirement Matrix based on lot size for requirements.
2. Required trees shall be deciduous species. Large shade trees shall have a clear canopy height of 8 feet or higher. Trees should be distributed among front yard and side yard spaces, depending on design.
3. Planting Bed Guidelines - Approximate distribution; see matrix for minimum planting requirements.

- a. 40% of the plant material throughout the required planting beds shall be deciduous or evergreen shrubs.
  - b. 30% of the plant material throughout the lot's required planting beds shall be ground covers.
  - c. 30% of the plant material throughout the lot's required planting beds shall be perennials, annuals, or ornamental grasses.
4. The use of native Ohio plants is encouraged.
  5. All lawn areas shall be finish graded, cleared of rocks, and seeded or sodded. Lawn grass type shall be selected for drought tolerance and hardiness. For lots less than 0.3 acres, all turf shall be sod. For lots 0.3 acres or more, all turf in front and to the side of the house shall be sod, the remainder may be seeded, with DRB approval.
  6. Minimum plant sizes at installation
    - Street trees: 3" caliper, or as directed by the developer
    - Deciduous shade trees: 2.5" caliper
    - Evergreen trees: 6' tall
    - Ornamental trees: 1.5" caliper (if multi-stem: 6' tall)
    - Small Shrubs: 18" tall; class 3 container
    - Intermediate Shrubs: 24" tall; class 5 container.

## **N. Common Area Landscape & Natural Areas**

1. The developer may create natural and common area landscaping at property lines. Builders and homeowners shall not be permitted to maintain, mow, plant, or otherwise disturb common area landscapes or materials.

## Appendix A

Landscape Requirements	55'-65' Wide Lots	66-79' Wide Lots	80'+ Wide Lots
<b>1. Lot Entries</b>			
a. Pedestrian Access	Pedestrian access shall be provided from the street sidewalk to the front door of the house. A sidewalk leading from the front door directly to the street sidewalk is required. The walk shall be landscaped with planting beds along its length or where it connects with the street sidewalk. *		
b. Driveways	Driveways shall not exceed sixteen feet in width as measured at the right-of-way line. Sidewalk pavement and cross slopes shall take precedent over those of driveways.		
c. Auto-courts	Auto-courts of side-loaded garages shall be screened from the street and from adjoining lots with a 4 foot screen consisting of hedge, plantings, decorative fences, or walls. Screen shall be complimentary with building architecture and materials, lot plant palette and design style.		
<b>2. Landscaping</b>			
a. Foundation Planting: Primary Street Frontage	<p>1. A planting bed shall be provided along the length of the entire elevation fronting a primary street, except for locations of doors and garage access.</p> <p>2. The bed shall be of a minimum area of two-hundred (200) square feet, a minimum depth of six (6) feet from the building facade, and raised a minimum of 6" from adjacent finish grade.</p>	<p>1. A planting bed shall be provided along the length of the entire elevation fronting a primary street, except for locations of doors and garage access.</p> <p>2. The bed shall be of a minimum area of three-hundred (300) square feet, a minimum depth of six (6) feet from the building facade, and raised a minimum of 6" from adjacent finish grade.</p>	<p>1. A planting bed shall be provided along the length of the entire elevation fronting a primary street, except for locations of doors and garage access.</p> <p>2. The bed shall be of a minimum area of four-hundred (400) square feet, a minimum depth of six (6) feet from the building facade, and raised a minimum of 6" from adjacent finish grade.</p>
b. Foundation Planting: Corner lots, secondary street frontage	<p>1. A planting bed shall be provided along the length of the entire elevation fronting a secondary street, except for locations of doors and garage access.</p> <p>2. The planting bed shall be of a minimum area of one-hundred square feet and have a minimum depth of three feet from the building façade. Plantings shall be a mix of small and intermediate sizes, a mix of species, and a mix of evergreen and deciduous materials. Planting should be designed to respond to coordinate with the architectural features of the adjoining building elevation.</p> <p>3. Corner lots, lots adjoining common open space, and lots that terminate streets or prominent vistas will be held to a higher standard of design and may be required to provide additional landscaping to meet DRB approval.</p>		

\* Smaller lots may include the driveway as part of the pedestrian access route with DRB approval.

## Appendix A

Landscape Requirements	55'-65' Wide Lots	66-79' Wide Lots	80'+ Wide Lots
<p><b>c. Foundation Planting: Minimum Plant Quantities</b></p> <p><i>*Secondary frontage treatment may be required by the DRB for lots adjoining common open space or terminating streets or vistas.</i></p>	<p>1. Primary Frontage Beds: Minimum of seven (7) Small shrubs, and three (3) Intermediate Shrubs shall be provided.</p> <p>2. Secondary Frontage Beds: Minimum of seven (7) Small Shrubs or five 5 Intermediate Shrubs per 20 lineal feet of building façade (see b., 2 above).</p>	<p>1. Minimum of nine (9) Small shrubs, and four (4) Intermediate Shrubs shall be provided.</p> <p>2. Secondary Frontage Beds: Minimum of seven (7) Small Shrubs or five 5 Intermediate Shrubs per 20 lineal feet of building façade (see b., 2 above).</p>	<p>1. Minimum of twelve (12) Small shrubs, and four (4) Intermediate Shrubs shall be provided.</p> <p>2. Secondary Frontage Beds: Minimum of seven (7) Small Shrubs or five 5 Intermediate Shrubs per 20 lineal feet of building façade (see b., 2 above).</p>
<p><b>d. Foundation Planting: Additional Plant Quantities</b></p>	<p>1. The remainder of any required planting bed shall be filled with mixed plantings of perennials, shrubs, or groundcover of any type or size. Annuals shall not be counted toward this requirement.</p> <p>2. The planting plan shall illustrate full-coverage of the bed by plant material at mature sizes.</p> <p>3. Any exposed building foundation on a street-facing elevation shall be completely screened from view. This may require the use of plant materials in addition to the minimum quantities above.</p>		
<p><b>3. Trees</b></p>	<p>One ornamental tree shall be located between the building and the primary street right-of-way line. Corner lots shall provide one additional ornamental tree between the building and right-of-way line of either street, and one shade tree between the building and right-of-way line of the secondary street.</p>	<p>One shade tree plus one ornamental tree shall be located between the building and the primary street right-of-way line. Corner lots shall provide a shade tree between the building and secondary street right-of-way and also one ornamental tree between the building and right-of-way of either street.</p>	<p>Two shade trees plus one ornamental tree shall be located between the building and Right of Way line. Corner lots shall provide an additional shade tree between the building and secondary street right-of-way.</p>

## Appendix A

Landscape Requirements	55'-65' Wide Lots	66-79' Wide Lots	80'+ Wide Lots
<b>4. Plant Material Specifications at installation</b>	<p>Deciduous shade trees: 2.5 inch caliper</p> <p>Ornamental Trees: 1.5 inch caliper (if multi-stem: 6' tall)</p> <p>Small Shrubs: 18" Minimum Height, Class 3 Container - Plants shall mature to a height of up to 36"</p> <p>Intermediate Shrubs: 24" Minimum Height, Class 5 Container - Plants shall mature to a height of 3' to 7'</p> <p>All front-yard trees shall be selected from the approved plant list.</p> <p>All plants shall meet or exceed the standards defined in American Standards for Nursery Stock by- ANSI Z60.1 - 2014</p>		
<b>5. Lawn</b>	<p>For lots less than 0.3 acres, all turf shall be sod. For lots 0.3 acres or more, all turf in front and to the side of the house shall be sod, the remainder may be seeded, with DRB approval.</p>		
<b>6. Service Screening</b>	<p>All utility meters, air conditioning equipment, exhaust pipes, valve covers, irrigation equipment, other service structures, and architectural bump-outs shall be located to the side or rear of the building and shall be screened from view from any street. Screen materials may include evergreen shrubs, a mix of intermediate sized evergreen and deciduous shrubs, decorative fences, or walls. All materials shall be consistent with the home's architecture and landscaping and shall reach a mature height that at minimum matches the height of the item being screened. Utilities permitted within front yards with DRB approval shall be screened.</p>		
<b>7. Mailbox</b>	<p>Mail boxes shall be Cedar Craft Products, Inc. (614-759-1600) "Standard Black Metal Box" [(F) BL Box] mounted to a JV 4"x4" cedar post and arm stained "Ebony" (black), with silver reflective house numbers on both sides. See detail below.</p>		
<b>8. Front Yard Lamp Post (optional)</b>	<p>Each home may be permitted one front yard lamp post with light fixture. The recommended light fixture shall be Phillips Hadco "Independence" (V1503) 70 Watt metal-halide, 120 volt, black powdercoat finish. The pole shall be three inch outside diameter steel or aluminum straight smooth pole, six feet in height above grade, black powdercoat finish; see detail below.</p>		
<b>9. Pedestrian Streetscape</b>			
<b>a. Sidewalks</b>	<p>Sidewalks shall be per ODOT item 608, four feet min. in width, 4" thick and shall be light-broom finish concrete on a four inch gravel base, with hand-tooled edges (3" tool), hand-tooled (3" tool) joints every 5 feet, and expansion joints every 5 blocks (25 feet). Pavers and other decorative paving materials are encouraged. Gravel or mulch shall not be permitted as paving materials.</p>		

## Appendix A

<b>b. Driveway Aprons</b>	Driveway aprons and any portion of sidewalk that crosses the driveway and apron shall be six (6) inch thick concrete on a four (4) inch aggregate base. The Sidewalk shall maintain the same cross-slope and finish of the adjoining sidewalks. Apron flare shall be 2 feet-6 inches.
<b>c. ADA Curb Ramps</b>	Sidewalks that lead to intended street crossings for pedestrians shall include a curb ramp that meets the current ADA guidelines at time of installation.

**Plant List: Front Yard Shade Trees**

Botanical Name	Common Name
<i>Acer platanoides</i>	Norway Maple
<i>Acer rubrum</i>	Red Maple
<i>Acer saccharum</i>	Sugar Maple
<i>Acer x freemanii</i>	Freeman Maple (various cultivars)
<i>Betula nigra</i> 'Heritage'	Heritage River Birch
<i>Carpinus betulus</i>	European Hornbeam
<i>Carpinus caroliniana</i>	American Hornbeam
<i>Carya ovata</i>	Shagbark Hickory
<i>Corylus colurna</i>	Turkish Filbert
<i>Fagus grandiflora</i>	American Beech
<i>Fagus sylvatica</i>	European Beech
<i>Ginkgo biloba</i>	Ginko
<i>Gleditsia triacanthos</i> var. <i>inermis</i>	Thornless Honeylocust
<i>Gymnocladus dioica</i>	Kentucky Coffeetree
<i>Liquidambar styraciflua</i>	Sweetgum
<i>Liriodendron tulipifera</i>	Tuliptree
<i>Nyssa sylvatica</i>	Blackgum
<i>Quercus alba</i>	White Oak
<i>Quercus palustris</i>	Pin Oak
<i>Quercus rubra</i>	Red Oak
<i>Quercus shumardii</i>	Shumard Oak
<i>Ulmus</i> x (various improved varieties)	Elm
<i>Zelkova serrata</i>	Zelkova

**Plant List: Ornamental Trees**

<i>Acer ginnala</i>	Amur Maple
<i>Acer griseum</i>	Paperbark Maple
<i>Acer palmatum</i>	Japanese Maple
<i>Acer tataricum</i>	Tatarian Maple
<i>Amelanchier laevis</i>	Alleghany Serviceberry
<i>Amelanchier</i> x <i>grandiflora</i>	Apple Serviceberry
<i>Betula nigra</i> 'Fox Valley'	Fox Valley River Birch
<i>Cercis canadensis</i>	Redbud

## Appendix A

Cornus alternifolia	Pagoda Dogwood
Cornus kousa chinensis	Chinese Dogwood
Cornus mas	Cornelian Cherry
Crataegus (various)	Hawthorn
Halesia carolina	Carolina Silverbell
Magnolia virginiana	Sweetbay Magnolia
Malus (various)	Flowering Crabapple
Prunus (various)	Flowering Cherry / Plum
Quercus glandulifera	Konara Oak
Sassafras albidum	Sassafras
Syringa reticulata	Japanese Tree Lilac

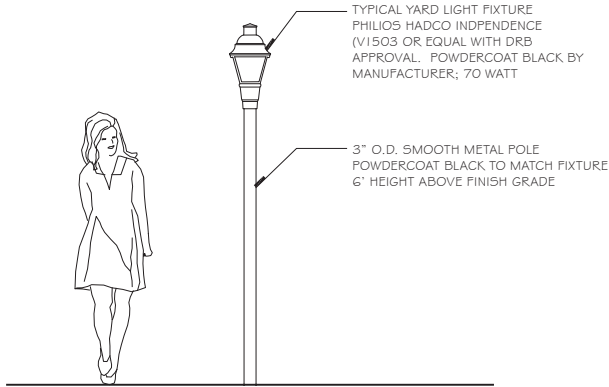
Notes: Each species of plant has unique growth characteristics. Likewise, each species of plant has varying needs for particular site conditions. Plants from this list should be matched to appropriate locations, considering the unique conditions of each site, including soil characteristics, drainage, micro climate and seasonal changes, maintenance availability. Plants should be scrutinized for ultimate size, growth rate, and need for maintenance, so as not to over-grow their intended locations. No plant stops growing once it reaches it's "mature" size. It is recommended that a horticulturist and/or a landscape architect be consulted when choosing landscape materials and locations.

\* See Appendix E or website for landscape design application and submittal requirements.

### **III. Attached Residential Landscape Standards**

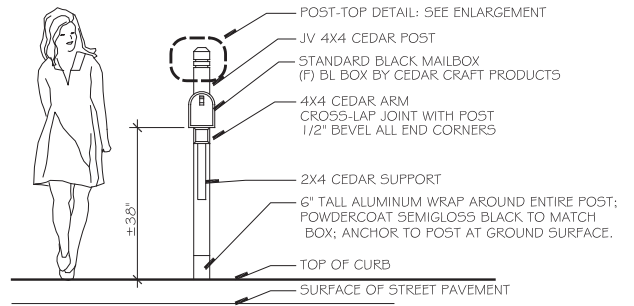
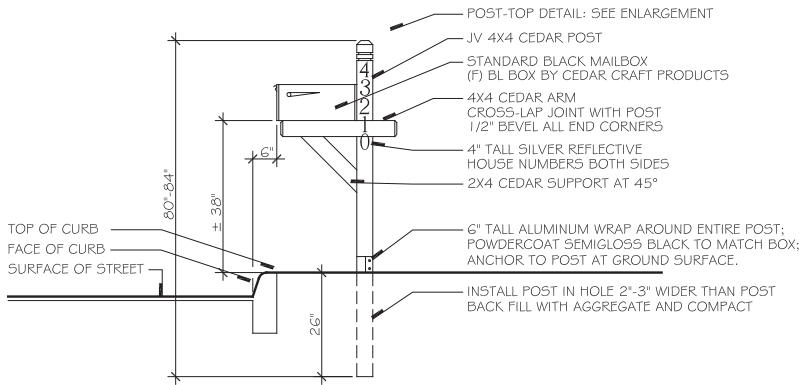
To Be Provided By DRB at a later time.

**TYPICAL YARD LIGHT DETAIL**



\*See cut-sheet on following page.

**STANDARD MAIL BOX DETAILS**



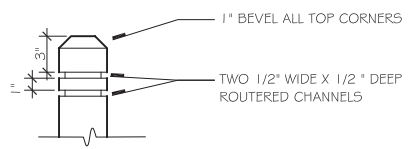
- NOTES:
1. ALL HARDWARE SHALL BE GALVANIZED
  2. INSTALL AND/OR ASSEMBLE PER MANUFACTURER'S INSTRUCTIONS.
  3. ALL WOOD SHALL BE STAINED EBONY BLACK
  4. ALL MATERIALS BY CEDAR CRAFT PRODUCTS, INC. 614-759-1600.
  5. VERIFY LOCATION AND DEPTHS OF ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION AND INSTALLATION.

**1 STANDARD MAILBOX - SIDE ELEVATION**  
SCALE: N.T.S.

**2 STANDARD MAILBOX - FRONT ELEVATION**  
SCALE: N.T.S.



F: Standard Black Mailbox; black mailbox shall be installed on a black post assembly. Silver numbers shall be placed vertically on both sides of post to be read from top to bottom.

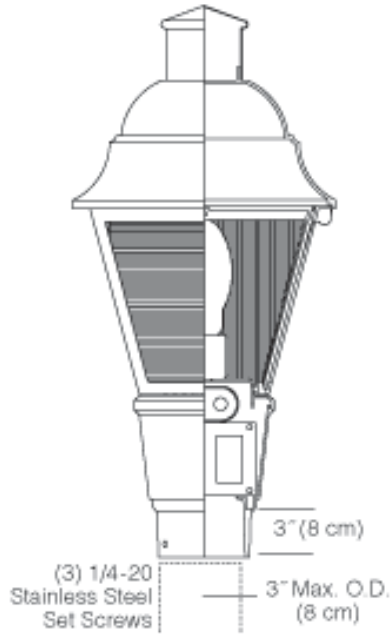


**3 POST-TOP DETAIL**  
SCALE: N.T.S.



TYPICAL YARD LIGHT CUT-SHEET- EXAMPLE CHARACTER**Independence (V1503) Specification Sheet**

Project Name:	Location:	MFG: Philips Hadco
Fixture Type:	Catalog No.:	Qty:



Maximum: 70 Watts

**Specifications****HOUSING:**

356 HM high-strength, low-copper, proprietary cast aluminum alloy . Hinged roof with stainless steel thumb screw. A weatherproof ballast assembly isolates the ballast from water and heat for longer life. Easy access to lamp. All non-ferrous fasteners prevent corrosion and ensure longer life. Slip Fitter Dimensions: 3" I.D. x 3" deep .

**FINISH:**

Thermoset polyester powdercoat is electrostatically applied after a five-stage conversion cleaning process and bonded by heat fusion thermosetting. Laboratory tested for superior weatherability and fade resistance in accordance with ASTM B-117-64 and ANSI/ASTM G53-77 specifications. For larger projects where a custom color is required, contact the factory for more information.

**OPTICAL ASSEMBLY:**

Type III Refractive Panels. Type V Refractive Panels. Optically designed, U.V. stabilized, injection molded, acrylic refractive panels. Tool-less removal panels for ease of cleaning.

**LAMPING:**

HPS Mogul base: E23.5. MH and HPS Medium base: E17.

**ELECTRICAL ASSEMBLY:**

Ballast assemblies are mounted to an aluminum plate or spinning, which is mounted inside the ballast pod. 4kv rated medium base porcelain socket. Nickel-plated screw shell with center contact. 4kv rated mogul base porcelain socket. Nickel-plated screw shell with center contact.

**BALLAST:**

All HID ballasts are core and coil and regulated with power factors better than 90% (HPF). Ballast provides +/- 5% lamp power regulation with +/- 10% input voltage regulation. Ballasts are factory pre-wired and tested. Metal halide ballasts are capable of starting at -20° F or -30° C and HPS at -40°F or -40°C. NOTE: All ballasts are EISA / Title 20 / Title 24 compliant where applicable.

**CERTIFICATIONS:**

ETL Listed to U.S. safety standards for wet locations. cETL listed to Canadian safety standards for wet locations. Manufactured to ISO 9001:2008 Standards.

**WARRANTY:**

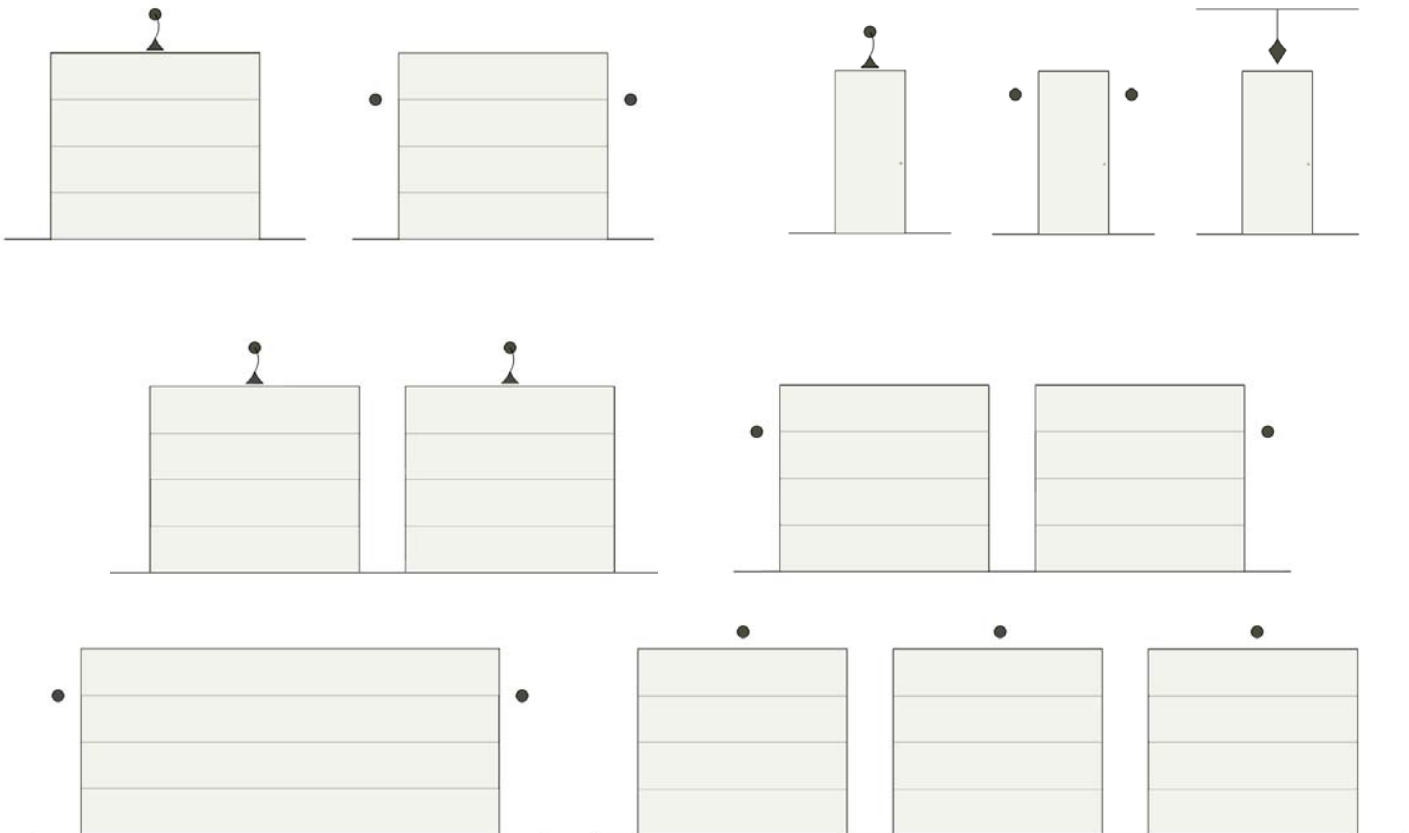
Three-year limited warranty.

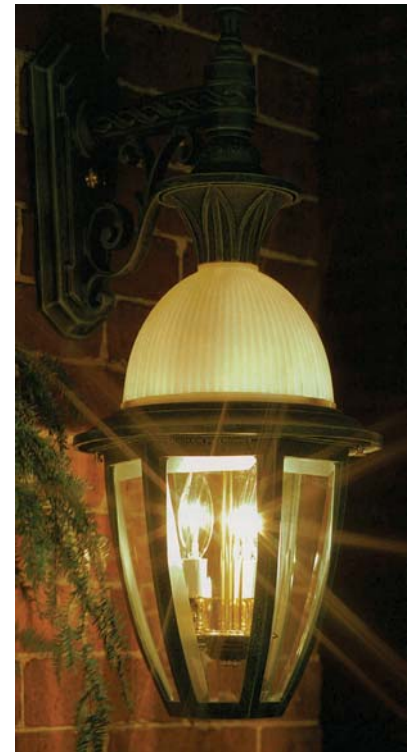
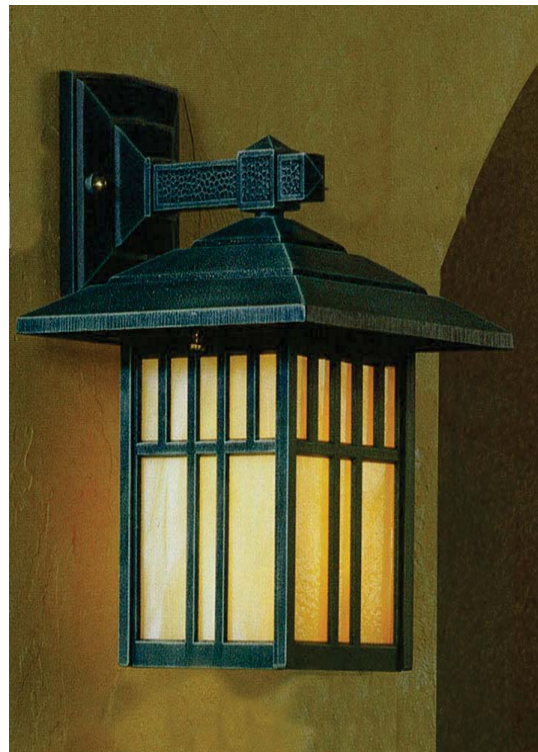
**Height :**

21 1/4" (54cm)

## Residential Lighting Requirements

1. Exterior lighting can add warmth and security to residence while enhancing the aesthetics of the architectural design. Lighting fixtures should be complimentary to the architectural style of the house. Fixtures should be constructed of antiqued materials appropriate to the era of the architectural style.
2. A minimum of one coach or pendant light fixture must be provided at the front porch or door surround. Garages should have a minimum of one coach or other appropriate light fixture per garage door. See the sketches below. Large porches may use recessed can fixtures for additional lighting. Ceiling fans without lights are also acceptable on large porches. Refer to the Jerome Village Property Code for street and landscape lighting requirements.







## A. Development Signs

Jerome Village entries will be identified by signature columns, located and installed by the developer. Columns will only be provided at points of entry to the development from the perimeter, and shall not be located at transitions between internal development areas. Internal development areas shall not be permitted individual identity signage.



Standard development entry pier

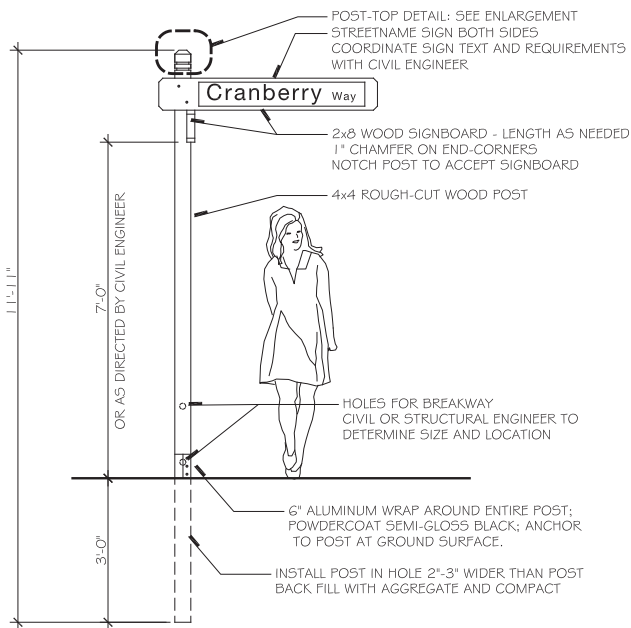
Street name and regulatory signage shall be installed by the developer. The appearance of the signage should contribute to the character and image of the Jerome Village brand.



Standard regulatory sign

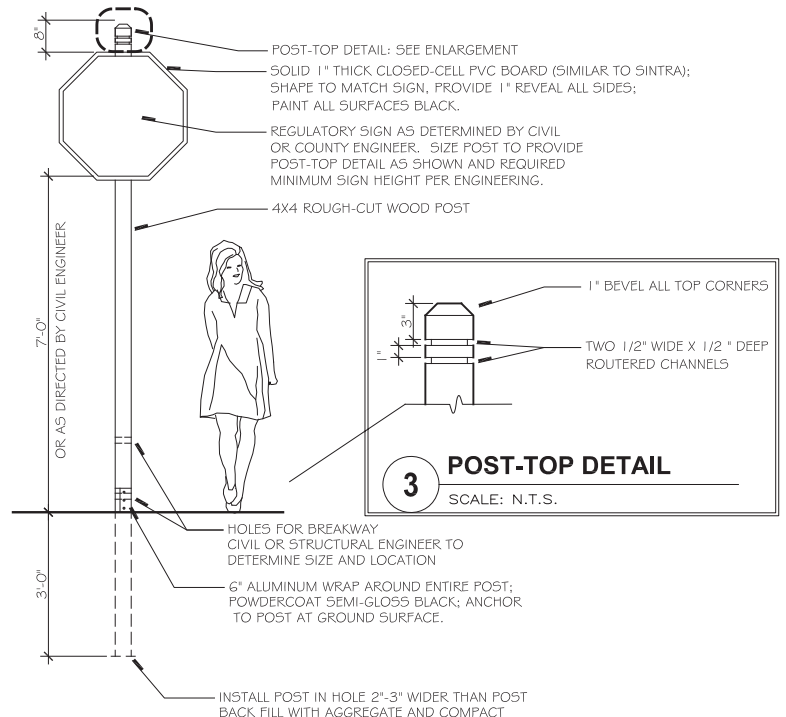


Standard street name sign



- NOTES:
1. ALL HARDWARE SHALL BE GALVANIZED
  2. INSTALL AND/OR ASSEMBLE PER MANUFACTURER'S INSTRUCTIONS.
  3. ALL WOOD SHALL BE STAINED EBONY BLACK
  4. VERIFY LOCATION AND DEPTHS OF ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION AND INSTALLATION.
  5. COORDINATE INSTALLATION LOCATIONS WITH CIVIL ENGINEER.
  6. ALL WOOD SHALL BE CEDAR.

**1** STANDARD STREET NAME SIGN - ELEVATION  
SCALE: N.T.S.



- NOTES:
1. ALL HARDWARE SHALL BE GALVANIZED
  2. INSTALL AND/OR ASSEMBLE PER MANUFACTURER'S INSTRUCTIONS.
  3. ALL WOOD SHALL BE STAINED EBONY BLACK
  4. VERIFY LOCATION AND DEPTHS OF ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION AND INSTALLATION.
  5. COORDINATE INSTALLATION LOCATIONS WITH CIVIL ENGINEER.
  6. ALL WOOD SHALL BE CEDAR.

**2** STANDARD REGULATORY SIGN - ELEVATION  
SCALE: N.T.S.

## B. Residential For Sale Signs: Initial Sale (Prior DRB approval is required)

Signage indicating the sale of the homes from the builder to the initial home-buyers is required. Signage should be framed in metal and mounted 6"-12" above grade. Signage shall be made of sturdy material (i.e. wood, metal, hard plastic) and shall not exceed 26" x 32". Sign shall include the builder logo, builder telephone number, and "FOR SALE" in standard brand fonts. It is encouraged that the sign also includes the lot number and address. Under no circumstances shall the lot number or address be spray painted or handwritten on the foundation, cardboard, plastic, or an additional wooden sign. Only one sign is permitted per lot.

Signage is required to be updated and maintained by the home builder. Damaged signs must be replaced in a timely manner. Please see images below for acceptable lot signage.

## C. Residential For-Sale Signs: Re-sale (prior DRB approval not required)

Signs indicating the sale or resale of residences are permitted and shall be limited to seven square feet in area and three feet in height. Signs must be located on the subject property, and in such a way as to not interfere with the safe movement of vehicular or pedestrian traffic. All signs shall be removed within 14 days after the sale has occurred. Only one such ground or window sign per street frontage is permitted for the sale or resale of a home.

Signs indicating the rental or lease of a single family home are NOT permitted to be in the yard or on the exterior of the structure. Interior window signs are permitted for the purpose of advertising a home for rental or lease. The intent is that the marketing of the residences for rent or lease should be done in a manner that relies primarily on visual display. Window signs for this purpose shall be limited to seven square feet



Standard residential initial for-sale sign

in area and three feet in height. Only one such window sign per residence is permitted.

## D. Open House Signs. (prior DRB approval not required)

Signs promoting an open house for property that is available for sale, rent, or lease are permitted, provided that only three such signs for each open house. Signs shall not be installed more than two hours before the open house and removed no more than two hours following conclusion of the open house. Signs shall not exceed seven square feet in area or three feet in height and must not be located in such a way that would interfere with the safe movement of vehicular or pedestrian traffic. Such ground signs may not be located within medians.

## E. Model Home Signage




See Appendix D for details and standards.

## F. Lot Construction Signs

Construction signs for individual builders and / or lots shall be approved by the DRB prior to installation and shall be professionally constructed and displayed. At no time should a spray-painted piece of plywood serve as a sign or address nor should the address be spray painted on the foundation of a home. Minimum contain of the sign should show builder's name, lot #, and home address.

## G. Jerome Village Branding: Colors

The Jerome Village brand colors are defined by PMS (Pantone Matching System, a universally recognized color standard), and by CMYK four-color process formulae:

	Barn Red	PMS	202
		CMYK	C=30 M=95 Y=73 K=31
		WEB	872333
	Pumpkin	PMS	723
		CMYK	C=4 M=58 Y=100 K=0
		WEB	bd702d
	Harvest Gold	PMS	457
		CMYK	C=31 M=37 Y=100 K=4
		WEB	b39402

## H. Jerome Village Branding: Typography

Jerome Village brand font families shall include: Requiem, Dear Sarah, Sabon, and Frutiger.

**REQUIEM**, the Jerome Village logo font celebrates Jerome's genuine ties to the past with its timeless style. It can be used for headlines and subheads in all forms of marketing communications.

### Requiem Text HTF Roman

ABCDEFGHIJKLMNOPQRSTUVWXYZ  
abcdefghijklmnopqrstuvwxyz1234567890

### Requiem Text HTF SmallCaps

ABCDEFGHIJKLMNOPQRSTUVWXYZ  
ABCDEFGHIJKLMNOPQRSTUVWXYZ1234567890

### Requiem Text HTF Italic

ABCDEFGHIJKLMNOPQRSTUVWXYZ  
abcdefghijklmnopqrstuvwxyz1234567890

**DEAR SARAH** has an historic feel. Organic in style, its natural feel conveys Jerome Village's passion for the conservation of the land and the environment. It can be used as an accent font for subheads or call outs in all marketing materials, including the website.

### Dear Sarah AltOne

ABCDEFGHIJKLMN OPQRSTUVWXYZ  
abcdefghijklmnopqrstuvwxyz-1234567890

### Dear Sarah AltTwo

ABCDEFGHIJKLMN OPQRSTUVWXYZ  
abcdefghijklmnopqrstuvwxyz-1234567890

### Dear Sarah Regular

ABCDEFGHIJKLMN OPQRSTUVWXYZ  
abcdefghijklmnopqrstuvwxyz-1234567890

### Dear Sarah SmallCaps

ABCDEFGHIJKLMN OPQRSTUVWXYZ  
ABCDEFGHIJKLMN OPQRSTUVWXYZ-1234567890

**SABON** is an enduring serif font. Very easy to read, Sabon is an ideal font for applications such as body copy, photo captions and signs. The serifs give Sabon a more traditional appearance, which makes it a great choice in materials describing the history of Jerome Township, for example.

**Sabon Roman**

ABCDEFGHIJKLMNOPQRSTUVWXYZ  
abcdefghijklmnopqrstuvwxyz1234567890

**Sabon Italic**

ABCDEFGHIJKLMNOPQRSTUVWXYZ  
abcdefghijklmnopqrstuvwxyz1234567890

**Sabon Bold**

ABCDEFGHIJKLMNOPQRSTUVWXYZ  
abcdefghijklmnopqrstuvwxyz1234567890

**Sabon Bold Italic**

ABCDEFGHIJKLMNOPQRSTUVWXYZ  
abcdefghijklmnopqrstuvwxyz1234567890

**FRUTIGER** is a streamlined and contemporary sans serif font, which can be used in many marketing applications, including signage. Imagine this font being used when communicating the concept of Smart Growth, or when describing how Jerome Village was designed to accommodate today's families.

**Frutiger Light**

ABCDEFGHIJKLMNOPQRSTUVWXYZ  
abcdefghijklmnopqrstuvwxyz1234567890

**Frutiger Light Italic**

ABCDEFGHIJKLMNOPQRSTUVWXYZ  
abcdefghijklmnopqrstuvwxyz1234567890

**Frutiger Roman**

ABCDEFGHIJKLMNOPQRSTUVWXYZ  
abcdefghijklmnopqrstuvwxyz1234567890

**Frutiger Italic**

ABCDEFGHIJKLMNOPQRSTUVWXYZ  
abcdefghijklmnopqrstuvwxyz1234567890

**Frutiger Bold**

ABCDEFGHIJKLMNOPQRSTUVWXYZ  
abcdefghijklmnopqrstuvwxyz1234567890

**Frutiger Bold Italic**

ABCDEFGHIJKLMNOPQRSTUVWXYZ  
abcdefghijklmnopqrstuvwxyz1234567890

**Frutiger Black**

ABCDEFGHIJKLMNOPQRSTUVWXYZ  
abcdefghijklmnopqrstuvwxyz1234567890

**Frutiger Black Italic**

ABCDEFGHIJKLMNOPQRSTUVWXYZ  
abcdefghijklmnopqrstuvwxyz1234567890

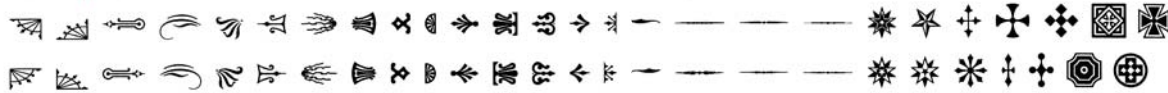
**Frutiger Ultra Black**

ABCDEFGHIJKLMNOPQRSTUVWXYZ  
abcdefghijklmnopqrstuvwxyz1234567890

**WOODTYPE ORNAMENTS** is a group of decorative type embellishments. Their addition to marketing materials convey the thoughtful community of Jerome Village where people feel

connected. They can be used as an accent to type treatments or to form a border, as shown in the examples below.

**Woodtype Ornaments 1**



**Woodtype Ornaments 2**



**Sample Usage**

✦ GREAT BLUE HERON ✦

Years ago, a blue heron rookery formed near the village center. Today, these remarkable creatures continue to nest and raise their young here.

NATIONAL PARK? STATE PARK?  
*Try 20 steps from where your front porch is parked.*

A FORWARD THINKING  
APPROACH TO  
ARCHITECTURE, BASED ON  
LOOKING BACK.



The first settlers of Jerome Township arrived more than 200 years ago. Interestingly, they wanted the same thing you do - a place to build a life.

JEROME VILLAGE



## **Appendix D: Model Home Standards**

1. A Model Home may be used by a builder or developer for the marketing and sale of lots and/or dwelling units located within the Jerome Village development. A Model Home may not be used as a dwelling. Resales of existing dwelling units within the Jerome Village development shall not be conducted from the Model Home. The Model Home shall not be used to conduct sales of lots and/or dwelling units outside of the Jerome Village Development, except as an incidental occasional use for the benefit and convenience of a builder's or developer's customers.
2. Model Homes shall not operate past 8:00 PM on any night. No Model Homes shall be open on Sunday to the general public before 12:00 Noon.
3. All exterior lighting must be "down lighting", so that no light shall be cast onto adjoining residential properties. All exterior lighting shall be extinguished at the closing time of the Model Home, except that which is in character with exterior lighting found on surrounding homes.
4. Signage for each Model Home shall be permitted and must be approved architecturally by the Jerome Village Design Review Board prior to submitting for the Model Home permit. Signage may contain the logo and name of the builder or developer operating such Model Home and setting forth hours of operation and pertinent contact information. Such signage shall be placed, from the front property line, a distance of at least one-half (50%) of the distance of the required front yard setback. Such signage shall not exceed twelve (12) square feet of sign area per side and shall contain no more than two (2) back to back sides with appropriate landscape treatments at its base.
5. Limitation on Use- Each Model Home shall be used as a Model Home only for the period of time set forth in the Zoning Permit issued for such Model Home by the Township Zoning Administrator, subject to such extensions as may be granted by the Township Zoning Administrator. At such time as the Model Home ceases or is no longer permitted to be used as a Model Home, all signage shall be promptly removed.
6. Each Model Home shall be required to obtain and maintain a Zoning Permit issued by the Township Zoning Administrator onsite.



JEROME TOWNSHIP HALL  
 9777 INDUSTRIAL PARKWAY  
 PLAIN CITY, OH 43064

**MODEL HOME APPLICATION**

**DIRECTIONS:** Model home permits are issued by the Jerome Township Zoning Administrator. Please complete the following information and send completed form and check to the address above. Attach the following documentation: copy of the plot plan showing precise location of the model home sign, landscape plans, sign specifications (colors, dimensions, and materials), and the Jerome Village Design Review Board (DRB) letter of approval. The DRB must give approval prior to the submission of model home application.

**BUILDER INFORMATION:**

OWNER/DEVELOPER:	TELEPHONE NUMBER:
ADDRESS:	

**MODEL HOME INFORMATION:**

DEVELOPMENT: JEROME VILLAGE	SUBDIVISION: GPN _____
ADDRESS:	
COMPLETION DATE ESTIMATE:	TERM AND FEE: (circle one) Initial Term- 3 years - \$250.00 Renewal Term- 1 year - \$75.00

**BUILDER ACKNOWLEDGEMENT TO GUIDELINES:**

I hereby certify that I am the Owner/Developer, or authorized representative for, in connection with the above-named project. I acknowledge that I have read and understood, and agree to be bounded by, the terms and conditions as outlined above.

Signature:	Date:
Printed Name:	

**APPROVED BY:**

Gary Smith, Jerome Township Zoning Administrator

Signature:	Date:
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## **Appendix E. Design Review Process & Application**

### **A. General information:**

The Jerome Village Design Review Board (DRB) consists of a three person board appointed by the Master Developer which will remain in place until such time as Jerome Village is fully built out. Upon completion of the master plan, the three person board will be elected by the Jerome Village Community Authority. One member of the DRB is required to be a certified architect. At all times, the DRB shall have the absolute authority and final say with respect to all plan reviews of any improvements constructed or to be constructed at or on the property.

For new construction, signed plan approval by the DRB, followed by approval by the applicable County or local government (Jerome Township), is required prior to the undertaking of any site improvements. No improvements shall be placed, erected, constructed or installed upon any lot or portion thereof, nor shall any exterior addition, change or alternation therein or thereof be made, by home builder or by property owner, until the plans and specifications have been submitted to and approved in writing by the DRB and otherwise complies with the provision of the Master Deed. Review of site improvements, construction or installations of structures should also be coordinated with all other applicable Federal State and local regulator agencies.

Changes to existing homes or plans previously approved by the DRB also require written approval prior to starting such changes. These include, but are not limited to, landscape changes, tree additions or removal, deck or patio additions, change paint colors or building materials, construct or modify fencing, or install any recreational device (i.e. pools, basketball hoops, etc). Nothing contained herein shall be construed to limit the right of an owner to remodel or decorate the interior of any building constructed on the property.

The DRB shall have the authority to grant variances that in the judgment of the DRB are in the best interest of the community and is within the spirit of the standards. No variance granted shall constitute a waiver of any provision of the Master Declaration as applied to any other person or any other part of the property.

### **B. Types of Design Reviews**

There are three types of Design Reviews within the Jerome Village community regarding single-family homes. These are summarized below.

1. New Home Construction – in order to obtain a construction and occupancy permit the DRB must review each individual home for architectural, zoning, and community compliance. Additional information about the review of new home construction is identified below.
  - a. Individual Home Review – the design review process requires that all builders submit each individual home to the DRB for approval. This review will be an all encompassing review of the architectural style of the proposed home, elevations, construction plans, plot plan, grading and

landscape plans, color and material lists including manufacturers for exterior products, as well as the homes compliance with size (sf/lot ratios), setback, and repeat patterns. This review usually takes two to three weeks to conduct and will result in either required changes or the approval of the plans. The current fee for this service is \$275 per home submission. Any re-submission of home plans may require additional fees, which will be based on a rate of \$65 to \$165 per hour depending on the type of changes reviewed.

- b. Portfolio Home Review – in an effort to speed the review process for individual new home construction, Jerome Village is willing to pre-approve (from an architectural standpoint) a portfolio of homes that can be marketed and constructed in the community. In order to receive pre-approval, a portfolio of home elevation and plans can be submitted to the DRB review. The DRB architect will provide feedback to the builder regarding the architectural elements of the homes, elevations, and overall compliance of the design with the pattern book. In addition, colors, material lists, manufacturers, and general landscape guidelines can be submitted and pre-approvals received. Comments are provided in a meeting setting and designs can be altered and revised until pre-approval is reached. The timing of this review will vary based on the number of plans submitted and changes required. The pre-approval of designs and materials does not constitute a waiver of the Individual Home Review but is intended to speed the process. Fees for this review are charged on an hourly basis and will range between \$65 to \$165 per hour.
  - c. Conceptual Design Meeting – the purpose of a conceptual design review meeting is to familiarize the builder or builder’s architect with the intent of the Jerome Village Pattern Book and Property Code, offer insight into the expectations for design compliance and reviews the submittal process prior to submitting drawings. In the meeting, the DRB architect will summarize the general guidelines and be available to answer questions about the architectural requirements, materials, or other items. This meeting usually takes two or three hours.
2. Modifications to Existing Homes or Changes prior Approved Plans – any changes to the exterior of an existing homes or change to previous approved plans need to be reviewed by the DRB and written approval granted. These changes include, but are not limited to, the changes in exterior color or finish, additions (patios, decks, fences, walls), or other modifications during construction. The review of modifications will be invoiced on an hourly basis and will include the appropriate detail.
  3. Landscape Changes – any changes to the exterior lot or landscaping of the home needs to be approved by the DRB. These changes would include the addition or remove of trees, the addition of fencing, pools patios, decks, driveway features, or other landscape improvements made to the lot that impact grading or the overall appearance of the lot. DRB approval is required prior to starting these improvements. The planting of annual flowers are considered routine maintenance and does not require DRB approval. A flat fee between \$50 to \$100 is charged for the submission and review of landscape or lot changes.

Date: \_\_\_\_\_

# JEROME VILLAGE

## DESIGN REVIEW BOARD

### NEW HOME APPLICATION

A completed application and the documents listed below must be submitted for review and approval by the Jerome Village Design Review Board. Incomplete submission will not be accepted.

- For GPN-1, GPN-2 and GPN-9 submit all documents to Samantha Grieser at: [grieses1@nationwide.com](mailto:grieses1@nationwide.com).
- For GPN-3, GPN-6 and GPN-8 submit all documents to Kristin McVay at: [mcvayk1@nationwide.com](mailto:mcvayk1@nationwide.com).

Include the following documents with your submission:

- Plot plan
- Grading Plan (if proposed plan changes the original grade)
- Home construction drawings and options
- Exterior lighting and fixtures
- Landscape plan (optional with first submission)
- Check for design review fee - \$275.00
  - Make check payable to Jerome Village Design Review Board and mail to:  
7920 Brock Road  
Plain City, OH 43064

Neighborhood: \_\_\_\_\_ Lot Number: \_\_\_\_\_

Address: \_\_\_\_\_

Name of Builder / Architect: \_\_\_\_\_

Construction Manager Contact Information: \_\_\_\_\_

House Name: \_\_\_\_\_ Elevation: \_\_\_\_\_

Corner Lot  Model Home  Adjacent to Common Area

#### ARCHITECTURAL STYLE (check only one)

Bungalow  Colonial  Craftsman  Farmhouse  Federal   
 Folk Victorian  Georgian  Greek Revival  Queen Anne  Shingle

Other \_\_\_\_\_

#### GARAGE

Size: 2 Car  3 Car  4 Car   
 Location: Auto Court  Side-load  Front-load  Left  Right

Jerome Village Design Review Board  
7920 Brock Road  
Plain City, OH 43064

# JEROME VILLAGE

## DESIGN REVIEW BOARD

SQUARE FOOTAGE (excludes basement and unfinished space) \_\_\_\_\_ sq. ft.

ADDITIONAL ITEMS REQUESTED FOR APPROVAL (Check all that apply and include specifications with submission)

Deck  Patio  Retaining Wall  Other \_\_\_\_\_

### EXTERIOR MATERIALS AND COLORS

Brick: Manufacturer \_\_\_\_\_ Color \_\_\_\_\_

Stone: Manufacturer \_\_\_\_\_ Color \_\_\_\_\_

Stucco: Finish \_\_\_\_\_ Color \_\_\_\_\_

Siding: Manufacturer \_\_\_\_\_ Color \_\_\_\_\_

Trim: Style / Color \_\_\_\_\_

Shutters: Style / Color \_\_\_\_\_

Front Door: Style / Color \_\_\_\_\_

Garage Door: Style / Color \_\_\_\_\_

Chimney: Style / Color \_\_\_\_\_

Cupola: Style / Color \_\_\_\_\_

Exterior Lighting: Style / Color \_\_\_\_\_

### EXTERIOR COLOR FAMILY (check only one)

Neutrals 1 (Taupe, Tan, Beige) <input type="radio"/>	Light Gray <input type="radio"/>	Dark Gray <input type="radio"/>
Brown (Mahogany, Bronze) <input type="radio"/>	Light Green(Sage) <input type="radio"/>	Dark Green (Hunter) <input type="radio"/>
Light Blue (Blue-Gray) <input type="radio"/>	Reds <input type="radio"/>	Yellow <input type="radio"/>
Whites and Off-Whites <input type="radio"/>	Miscellaneous _____	

### COMMENTS OR REQUESTED VARIANCES

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Jerome Village Design Review Board  
7920 Brock Road  
Plain City, OH 43064

# JEROME VILLAGE

## DESIGN REVIEW BOARD

### LANDSCAPING AND SITE IMPROVEMENTS APPLICATION

A completed application with landscape plan and plot plan must be submitted for review and approval by the Jerome Village Design Review Board. Incomplete submissions will not be accepted.

- For GPN-1, GPN-2 and GPN-9 submit all documents to Samantha Grieser at: [grieses1@nationwide.com](mailto:grieses1@nationwide.com).
- For GPN-3, GPN-6 and GPN-8 submit all documents to Kristin McVay at: [mcvayk1@nationwide.com](mailto:mcvayk1@nationwide.com).

Plan Date: \_\_\_\_\_ Section & Lot Number: \_\_\_\_\_

Address: \_\_\_\_\_

Lot Frontage Width:  55'-65'  66'-79'  80'+ Corner Lot:  Yes  No

#### REQUIRED LANDSCAPE PLAN INFORMATION

- Existing and proposed site conditions drawn to 1"=20' including property lines, right-of-ways (with street name), easements, topographical features, street trees and vegetation, project area and dimensions and building locations
- Plant list indicating quantity, common name, botanical name including variety or cultivar if applicable, specified minimum plant height at installation and container size
- Location of utility/service structures including:
  - A/C condensers
  - Sewer vent risers
  - Transformers and utility boxes
  - Above ground gas, water, electric, telephone line, meters, valve boxes, manholes, and catch basins
  - Exhaust or intake vents on building walls
- Site grading plan, including locations of existing and proposed retaining walls, drainage courses, floodplains, streams, and wetlands with elevations
- Proposed driveways and auto courts with proposed materials
- Location, width and materials for proposed walks
- Proposed hardscaping improvements including location, design, and details of patios, decks, and steps

Jerome Village Design Review Board  
375 N. Front Street, Suite 200  
Columbus, OH 43215  
614-857-2330

# JEROME VILLAGE

## DESIGN REVIEW BOARD

### PLANTING REQUIREMENTS

(Applicant is responsible for providing quantities in the spaces below. See matrix in the property code, pages 43-47)

#### Foundation Plantings-Primary Street Frontage

- Minimum Square Footage of Planting Area      Provided\_\_\_\_\_
- Minimum Quantity of Small Shrubs              Provided\_\_\_\_\_
- Minimum Quantity of Intermediate Shrubs      Provided\_\_\_\_\_
- 6 Foot Minimum Planting Bed Depth            Provided\_\_\_\_\_

#### Foundation Plantings-Secondary Street Frontage (If Required)

- Minimum Square Footage of Planting Area      Provided\_\_\_\_\_
- Minimum Quantity of Small Shrubs              Provided\_\_\_\_\_
- Minimum Quantity of Intermediate Shrubs      Provided\_\_\_\_\_
- 3 Foot Minimum Planting Bed Depth            Provided\_\_\_\_\_

#### Other Planting Requirements

- Minimum quantity of shade trees              Provided\_\_\_\_\_
- Minimum quantity of ornamental trees        Provided\_\_\_\_\_
- Utility/service structures screened from view    Provided\_\_\_\_\_

### COMMENTS OR REQUESTED VARIANCES

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## **Jerome Village Construction Guidelines**

THE DESIGN REVIEW BOARD (DRB) HAS ADOPTED THE FOLLOWING LOT MAINTENANCE GUIDELINES EFFECTIVE May 1, 2015. ENFORCEMENT OF THESE GUIDELINES IS THE RESPONSIBILITY OF DRB AND THE JEROME VILLAGE PROPERTY MANAGER.

### **CONSTRUCTION HOURS OF OPERATIONS:**

- Due to the fact that homeowners reside in the areas of construction activities, exterior work on job sites is restricted to the hours between 7 am and 7 pm, all week long. Home builders can mandate stricter guidelines, if desired, but are expected to abide by and enforce the restricted hours with their subcontractors.

### **LOT MAINTENANCE:**

- Builder is required to maintain a neat and orderly construction site. It is the builder's responsibility to notify the DRB or property manager of any problems with the site prior to construction.
- Builder is required to replace or rebuild to pre-existing conditions the improvements disturbed or damaged through construction including, without limitation, streets, curbs, street trees, common areas and sidewalks.
- Builder is required to mow and maintain purchased lots, including weed trimming on a monthly basis between April and October.

### **TREE PROTECTION:**

- Builder shall not remove or relocate any street tree(s) without prior notification and approval by the DRB.
- If a builder kills a tree during the construction process, the tree will be replaced at the sole cost of the builder. The developer will reinstall the tree and invoice builder.
- It is the Builder's responsibility to familiarize themselves with the policies on street trees relocation and removal. Please refer to the Jerome Village Property Code for tree replacement criteria associated with unauthorized clearing.

### **EROSION CONTROL AND FINAL GRADING:**

- Builder must adhere to the erosion control requirements (installation and maintenance) as stipulated by the governing authorities of Union County and the OEPA. Builder is responsible for submitting Individual Notice of Intent to OEPA for their construction storm water general permit. If requested, builder must provide a signed copy of the OEPA permit to the DRB.
- Throughout the entire build process disturbance period, builder is required to contain erosion and sediment from entering swales, storm water collection system and storm water management facilities through use of perimeter controls (i.e. silt fence or straw wattles) and inlet protection (i.e. beaver dam or dandy bag). Controls cannot be removed prior to seed stabilization and/or installation of sod.
- Site should be brought to final grade within 7 days of the completion of the exterior of the building (weather permitting). All disturbed areas within the lot are to be permanently sodded within one (1) month into the spring growing season. Erosion control must be left in place until this occurs.

**STORAGE AND TRASH CONTAINMENT:**

- Under no circumstances should material, trash containment, restroom facilities, or vehicles be placed on adjoining lots, within the street or common areas. Adjoining lots are to be maintained as open green space and not disturbed.
- Builder shall provide containerized trash receptacle on lot at all times. At no time should trash be outside the container or allowed to blow onto other lots or into the street. A trash “fence” is not an approved trash containment system.

**AIR VAC SEWER SYSTEM:**

- All Airvac sewer pits must be kept clear of all construction debris and mud. Airvac vent pipes must be properly capped at all times to avoid damage to the system. See Airvac memorandum for proper procedures. Don’t bury your pit.

**PARKING:**

- Parking is permitted along the road only. Under no circumstances should vehicles obstruct the flow of traffic or be parked on adjoining lots.
- Overnight parking on the lot or on the street during construction is prohibited.

**STREET MAINTENANCE:**

- Builder is responsible for providing and maintaining an adequate stabilized construction entrance and storage area on the site. Under no circumstances should material of any type be delivered or stored in the street.
- Builder is responsible for maintaining clean street conditions. Should mud be tracked onto the street, Builder shall be responsible for removing mud and cleaning the roadway daily.
- Builder is required to remove construction debris (mud, gravel, trash, concrete, etc.) from any roadway to avoid damage to public infrastructure. Said damage is to be repaired to DRB and public agency’s satisfaction.

**SIGNAGE:**

- Builder is required to have Design Review Board approval for all signage.
- Signs shall be properly installed and maintained in good condition. Broken, damaged, or faded signs shall be removed and replaced immediately.
- Under no circumstances shall temporary yard signs or messages be allowed.

**PROCEDURE FOR NOTICE OF VIOLATION:**

Upon receipt of a notice from Jerome Village DRB or property manager that you have violated any of the Builder Construction Site Guidelines, any violations located within the public right of way must be corrected within 24 hours. All other violations must be corrected in five days. If it is your first violation on the lot and you correct the violation the above listed times, no fine will be assessed. Fines will be immediately assessed if you do not correct the first violation by the times listed above, and for any violation beyond the first.

As the Builder, you agree that you are responsible for the acts and omissions of all subcontractors performing work on or delivering materials to the lot. The violation of any of these Builder Construction Guidelines, by you or any of your subcontractors, will affect your standing as a preferred builder in Jerome Village.

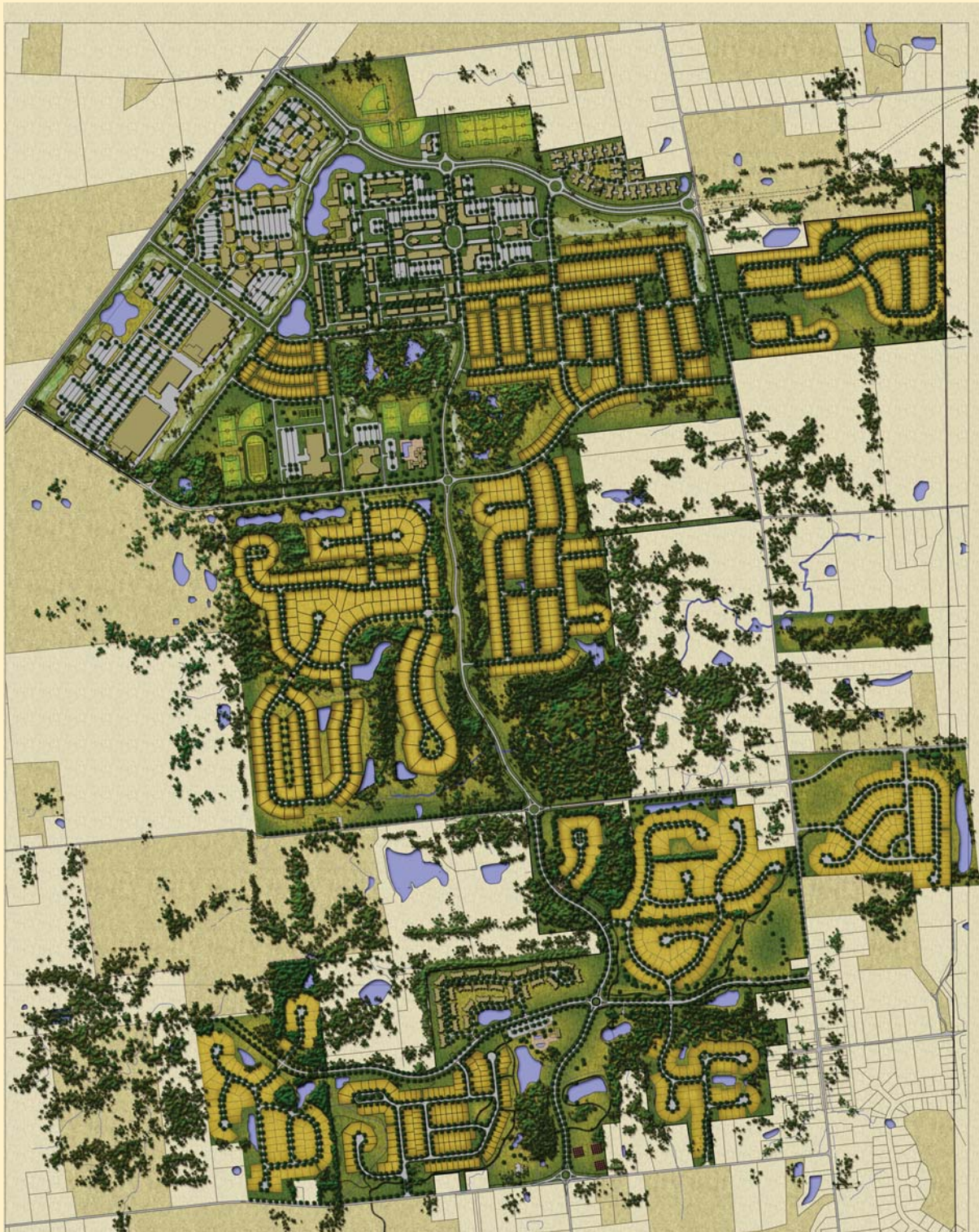
**FINES:**

All violations will result in a fine of \$250 plus the total cost to repair any damages and restore the area to an acceptable condition. All fines and costs must be paid within 14 days.

**CONTACT INFORMATION:**

For any questions or concerns please contact:

John Willis  
Jerome Village Property Manager  
[johnwillis@towneproperties.com](mailto:johnwillis@towneproperties.com)  
614-973-9484



The above image is showing design intent for the new Jerome Village. The site layout above is for illustrative purposes only. Final layout and engineering will be determined at the time of final development.



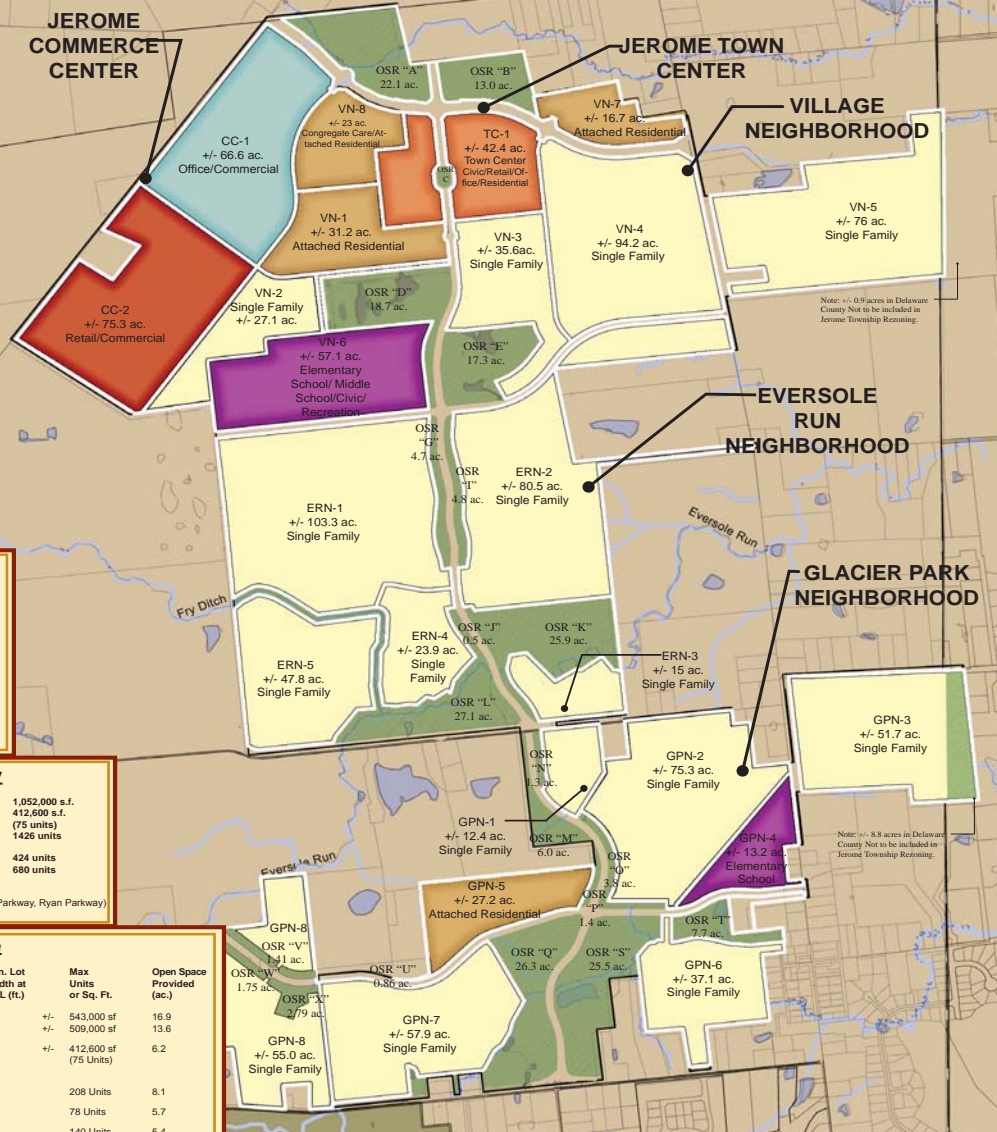
Illustrative Master Plan  
**JEROME VILLAGE**

*Where life is in balance.*

Developer:  
 **Nationwide**  
August 25, 2014

**KEY**

- Town Center
- Commercial
- Office
- Attached Residential
- School
- Open Space
- Single Family Residential



**Project Summary**

Total Site Area	+/- 1,459.7 ac.
Union County	+/- 1,450.0 ac.
Delaware County	+/- 9.7 ac.
ROW:	+/- 89.7 ac.
Total DU	+/- 2,355 du.
Density	+/- 1.6 du/ac.

**Open Space Summary**

Public Spaces Data Table:	+/- 258.0 ac.
Dev. Data Table Open Space:	+/- 325.9 ac.
Total Open Space:	+/- 583.9 ac.
Percent of Open Space:	40.0%

**Neighborhood Summary**

Jerome Commercial Center:	+/- 141.9 ac.	1,052,000 s.f.
Jerome Town Center:	+/- 42.2 ac.	412,600 s.f. (75 units)
Village Neighborhood:	+/- 303.8 ac.	1426 units
Elementary School/Civic:	+/- 57.1 ac.	
Eversole Run Neighborhood:	+/- 270.5 ac.	424 units
Glacier Park Neighborhood:	+/- 326.6 ac.	680 units
Elementary & Middle School:	+/- 13.2 ac.	
Proposed Right-of-way:	+/- 64.5 ac.	
(Home Road, Hyland-Croy Road, Eversole Parkway, Ryan Parkway)		
Ex. Right-of-way Dedication:	+/- 25.2 ac.	

**Development Data Table**

Sub Use Area	Site Ac.	Min. Lot Width at B/L (ft.)	Max Units or Sq. Ft.	Open Space Provided (ac.)
CC-1 - Office/Commercial	66.6	---	+/- 543,000 sf	16.9
CC-2 - Commercial	75.3	---	+/- 509,000 sf	13.6
TC-1 - Civic/Office/Retail (Residential over Commercial)	42.4	---	+/- 412,600 sf (75 Units)	6.2
VN-1 - Attached Residential	31.2	---	208 Units	8.1
VN-2 - Single Family	27.1	50	78 Units	5.7
VN-3 - Single Family	35.6	50	140 Units	5.4
VN-4 - Single Family	94.2	50	270 Units	30.4
VN-5 - Single Family	76.0	60	220 Units	22.9
VN-7 - Attached Residential	16.7	---	88 Units	2.9
VN-8 - Attached Residential/ Congregate Care / Assisted Living	23.0	---	172 Units	6.3
			250 Beds	
ERN-1 - Single Family	103.3	80	163 Units	37.4
ERN-2 - Single Family	80.5	80	162 Units	25.0
ERN-3 - Single Family	15.0	150	5 Units	10.3
ERN-4 - Single Family	23.9	150	14 Units	10.8
ERN-5 - Single Family	47.8	80	80 Units	17.4
GPN-1 - Single Family	12.4	90	16 Units	3.7
GPN-2 - Single Family	75.3	80	136 Units	19.6
GPN-3 - Single Family	51.7	65	120 Units	23.0
GPN-5 - Attached Residential	27.2	---	116 Units	6.1
GPN-6 - Single Family	37.1	70	88 Units	13.4
GPN-7 - Single Family	57.9	60	130 Units	21.5
GPN-8 - Single Family	55.0	70	94 Units	19.2
<b>Overall-Totals</b>	<b>1075.2 ac.</b>		<b>2,355 Units</b>	<b>325.9</b>
				<b>1,464,600 sf</b>

**Public Spaces Data Table**

Sub Area or Reserve	USE	Site Ac.	Open Space Provided	Sub Area or Reserve	USE	Site Ac.	Open Space Provided
VN-6	Elementary School/Civic	57.1	37.8	OSR "M"	Open Space Reserve	6.0	6.0
GPN-4	Elementary & Middle Schools	13.2	6.6	OSR "N"	Open Space Reserve	1.3	1.3
OSR "A"	Open Space Reserve	22.1	22.1	OSR "O"	Open Space Reserve	3.8	3.8
OSR "B"	Open Space Reserve	13.0	13.0	OSR "P"	Open Space Reserve	1.4	1.4
OSR "C"	Open Space Reserve	0.7	0.7	OSR "Q"	Open Space Reserve	26.3	26.3
OSR "D"	Open Space Reserve	18.7	18.7	OSR "R"	Not used		
OSR "E"	Open Space Reserve	17.3	17.3	OSR "S"	Open Space Reserve	25.5	25.5
OSR "F"	Not used			OSR "T"	Open Space Reserve	7.7	7.7
OSR "G"	Open Space Reserve	4.7	4.7	OSR "U"	Open Space Reserve	0.86	0.86
OSR "H"	Not used			OSR "V"	Open Space Reserve	1.41	1.41
OSR "I"	Open Space Reserve	4.8	4.8	OSR "W"	Open Space Reserve	1.75	1.75
OSR "J"	Open Space Reserve	0.5	0.5	OSR "X"	Open Space Reserve	2.79	2.79
OSR "K"	Open Space Reserve	25.9	25.9	<b>Overall-Totals</b>		<b>283.9</b>	<b>258.0</b>
OSR "L"	Open Space Reserve	27.1	27.1				



## Sub Area Land Use Plan

# JEROME VILLAGE

Where life is in balance.

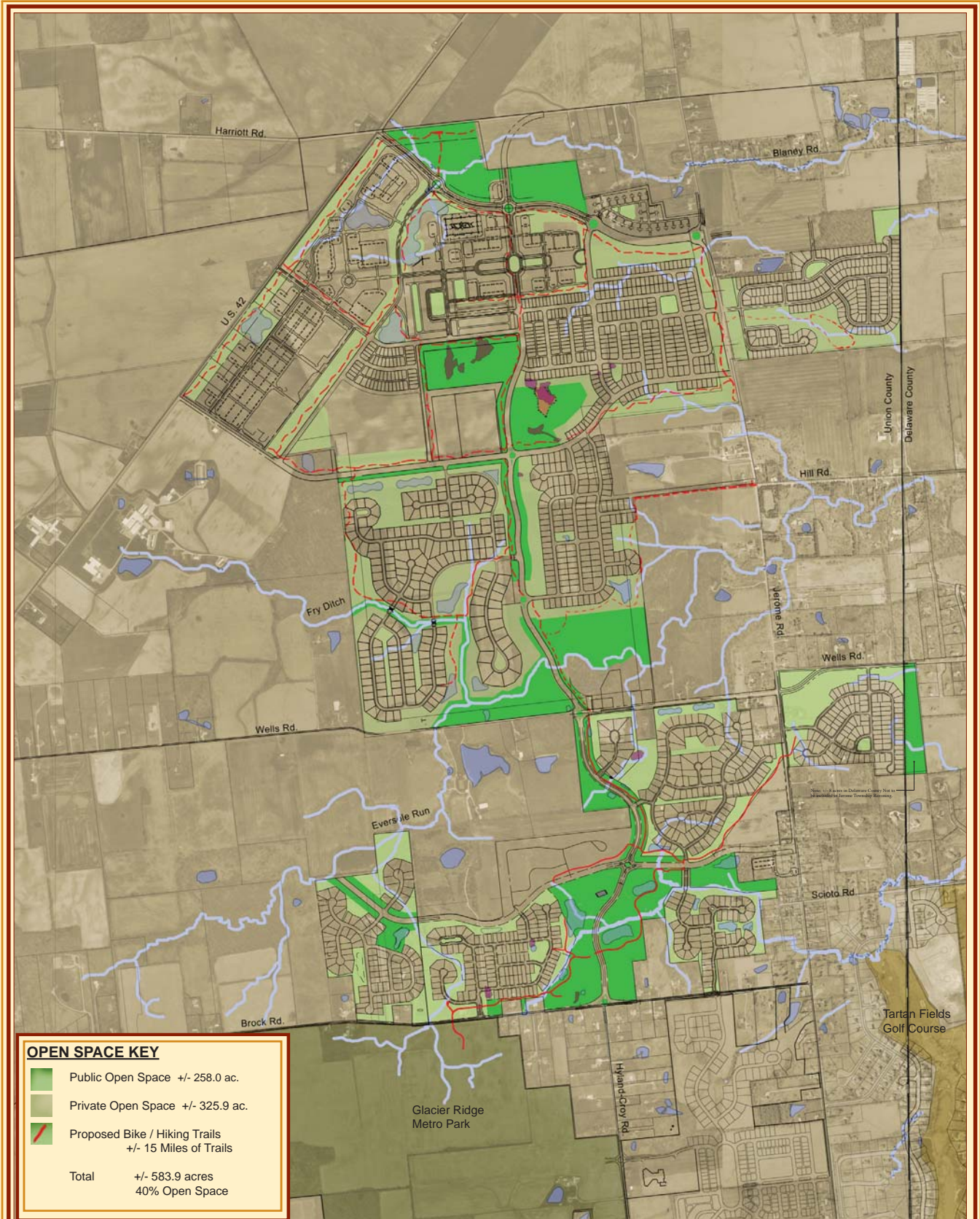
Developer:



Nationwide

September 20, 2013

The above image is showing design intent for the new Jerome Village. The site layout above is for illustrative purposes only. Final layout and engineering will be determined at the time of final development.



**OPEN SPACE KEY**

- Public Open Space +/- 258.0 ac.
- Private Open Space +/- 325.9 ac.
- Proposed Bike / Hiking Trails  
+/- 15 Miles of Trails

Total +/- 583.9 acres  
40% Open Space



Open Space Plan

JEROME VILLAGE

Where life is in balance.

The above image is showing design intent for the new Jerome Village. The site layout above is for illustrative purposes only. Final layout, acreages, and engineering will be determined at the time of final development.

Developer:  
**Nationwide® Realty Investors**  
 April 19, 2012

Trail locations are conceptual and subject to change.